

# DESIGN GUIDELINES

## EUSTIS CENTRAL BUSINESS DISTRICT

Eustis, Florida

February, 2025

# DESIGN GUIDELINES FOR EUSTIS CENTRAL BUSINESS DISTRICT

- *Goals for the Downtown*
- *Historic Rehabilitation Guidelines*
- *Site Design*
- *Commercial Buildings Residential*
- *Buildings Streetscape Design Standards*

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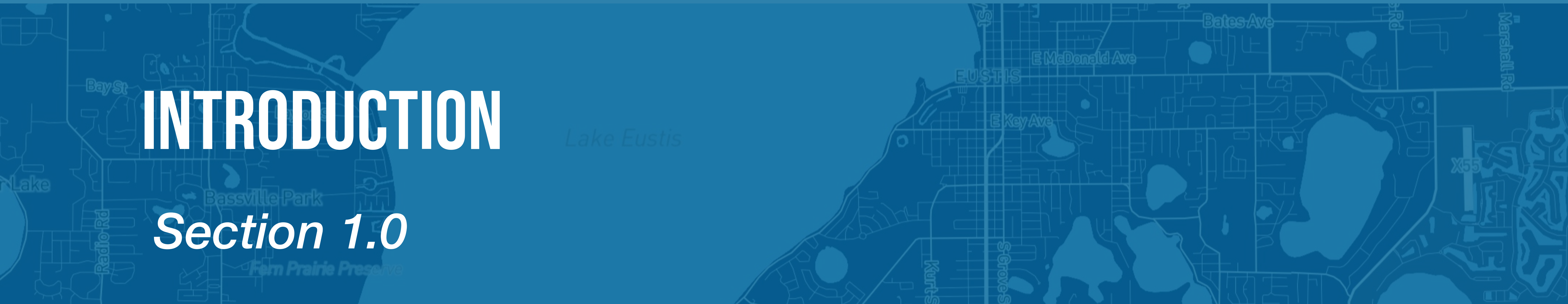
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# 1.0 INTRODUCTION

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- *Architectural Design Principles* 6
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# INTRODUCTION

## Section 1.0

### *These design guidelines are organized into seven sections:*

#### **Section 1.0 - 2.0**

The second section outlines the fundamental design principles and goals of this document, which encompass quality architecture, urban design, and pedestrian priority, applicable to the entire downtown.

#### **Section 3.0**

The third section, Guidelines for Historic Building Rehabilitation, outlines the design guidelines and standards applicable to *all historic buildings* in the Historic District, as illustrated in the map on page 2. These guidelines aim to preserve and enhance the rich architectural legacy of the **Central Business District**.

#### **Section 4.0 - 6.0**

Sections four to six present design guidelines for three types of new development in the historic district and downtown: the Central Business District (the historic commercial/civic core), Residential, and Commercial Corridor development. Each section corresponds to the areas outlined in the map on page 3.

#### **Section 7.0**

The final section presents guidelines for public space improvements, primarily in the form of streetscape cross-sections and accompanying text.

*Also shown for reference on page 4 is the master plan for the downtown, from which the guidelines were developed.*

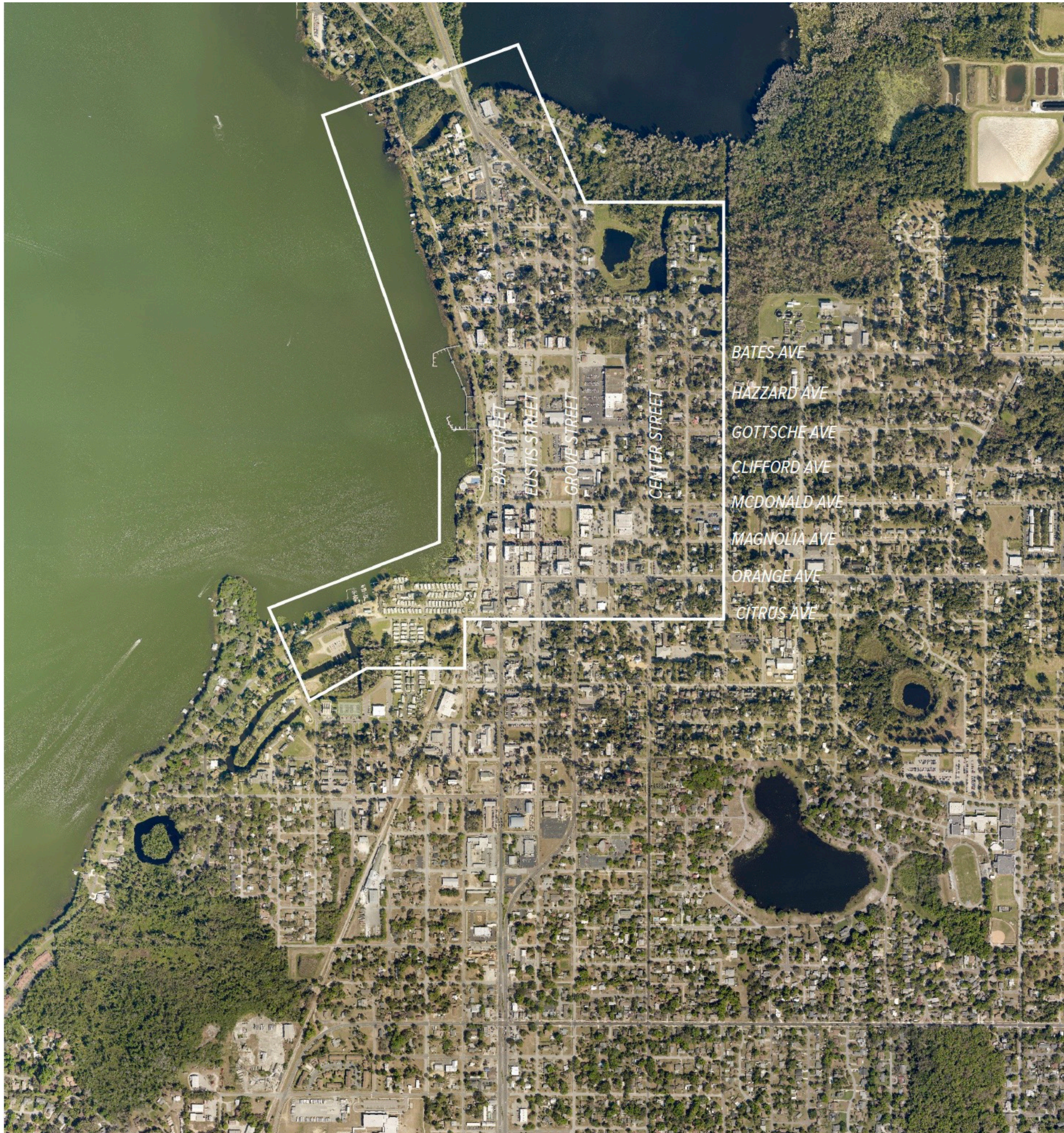
There are many distinguished historic buildings in downtown **Central Business District**, both residential and commercial, and the historic architectural guidelines address the preservation and restoration of these buildings. The preservation of the most significant of these buildings is essential to the preservation of the image, history, and culture of the community. As new development occurs, these guidelines will help to create a coherent style that complements the historic character of **Central Business District** without being imitative.

It is important to understand that these guidelines do not require that existing buildings necessarily be restored, removed, or altered. However, when existing buildings are modified in any way other than cosmetically, or when buildings are replaced and new buildings are constructed, the design guidelines will apply.

*The appendix specifies the United States Secretary of the Interior's Ten Standards for Rehabilitation.*

# INTRODUCTION

## Section 1.0



*This map illustrates the layout of the Eustis Central Business District, highlighting key streets that form the core of the downtown area. The district is bounded by:*

- **North: Bates Avenue and Hazzard Avenue**
- **South: Orange Avenue and Citrus Avenue**
- **East: McDonald Avenue and Clifford Avenue**
- **West: Center Street and Grove Street**

*Central arteries include Eustis Street and Bay Street, which run through the heart of the district. Other notable thoroughfares are Gottsche Avenue and Magnolia Avenue, contributing to the grid structure of this historic downtown area.*

*This map serves as a reference for the design guidelines applicable to various zones within the Central Business District, including commercial, civic, and nearby residential areas.*

# INTRODUCTION

## Section 1.0

### Eustis Central Business District - Historic District Subdistrict Map



The above map shows the different subdistricts within the Historic District. Sections 4 through 6 of these guidelines deals with each of these subdistricts.

# INTRODUCTION

## Section 1.0

### Eustis Central Business District - Historic District Subdistrict Map



# 3.0 GUIDELINES FOR HISTORIC BUILDING REHABILITATION

- *Urban Design Principles* 5
- *Architectural Design Principles* 6
- *Pedestrian Priority* 7

# DESIGN PRINCIPLES FOR SUCCESSFUL DOWNTOWNS

## Section 2.0

***No zoning code or design guideline can cover all possible development scenarios.  
These design principles should guide decision-making regarding appropriate development.***

### URBAN DESIGN PRINCIPLES

#### Section 2.1

#### **Principle 1: Establish and maintain a unified, improved identity for the Central Business District**

The work completed in the Master Plan and the design guidelines builds on the existing historic character of the downtown area. Future public and private projects should strive to harmonize with that character.

#### **Principle 2: The Central Business District should be the civic, cultural, and activity center of the entire community**

In commercial areas, aim for architectural enclosure, seating, shade, and attractive streetscapes through coordinated efforts. Enhance the Town Center with pedestrian connections, landscaping, and consistent building heights. In residential areas, incorporate front yards, porches, and cohesive designs to foster a traditional neighborhood character.

#### **Principle 3: Encourage mixed uses in the Central Business District**

The success of a downtown is dependent on a mix of uses including office, retail, restaurant, civic, and residential. Mixed uses help ensure activity and security at all times of the day and evening and reinforce commercial uses by extending the cycle of activity. Restoration of existing buildings and development of new buildings in the Central Business District should, if possible, include residential in the upper floors.

#### **Principle 4: Increase the density in Central Business District to reinforce the pedestrian environment.**

The “fringes” of the downtown between commercial areas and residential areas are dominated by parking lots and vacant land and buildings. Infilling these areas with new buildings and improving the connections between the two areas will encourage people to explore the downtown on foot.

#### **Principle 5: Avoid suburban or rural land-use patterns in the downtown**

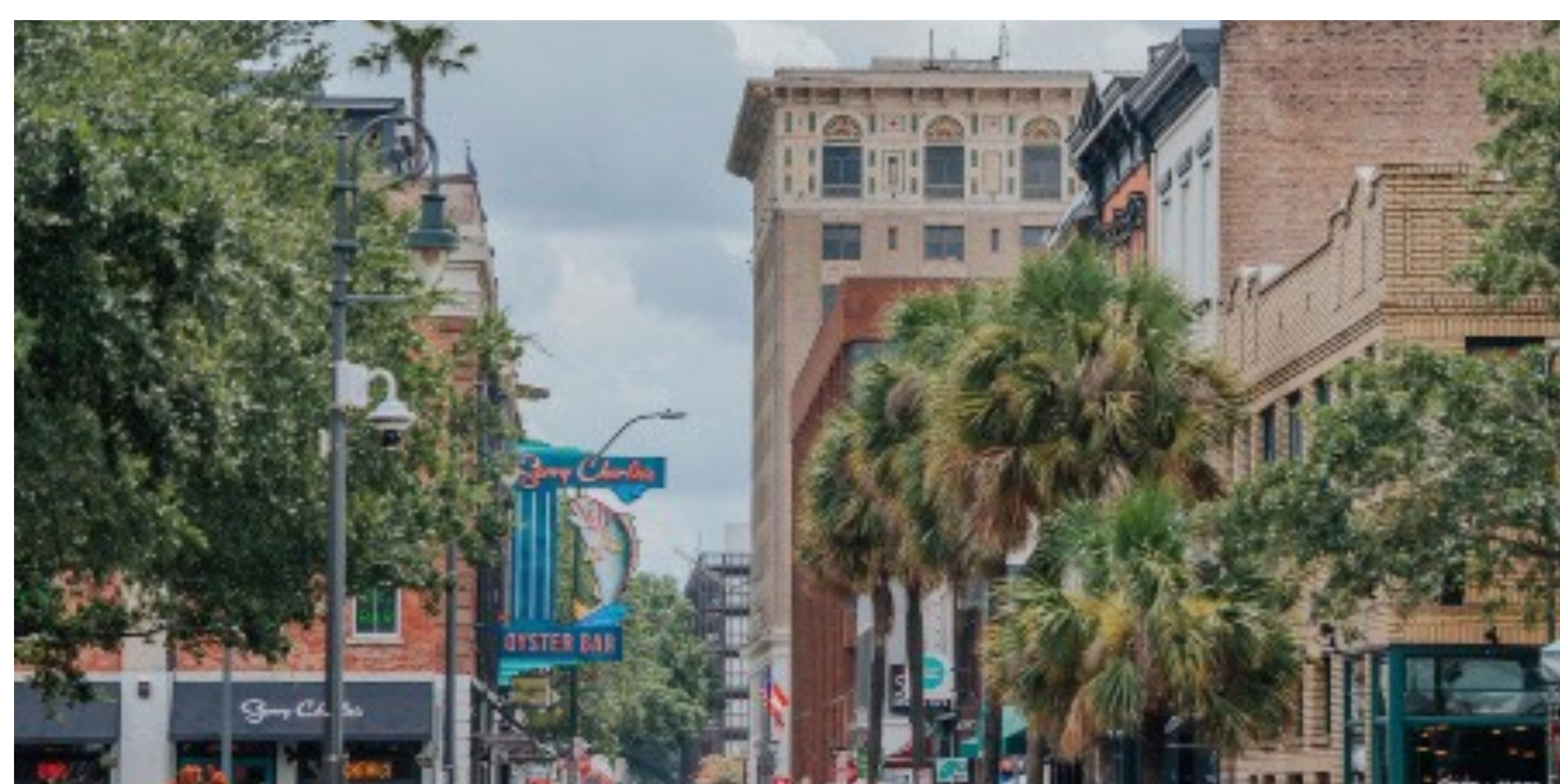
Especially along the corridors that bring people into the downtown such as Ash, George, and Elm Streets. “Strip”-type development, continuous driveways along the edges of properties, parking in front of buildings, lack of screening, and lack of pedestrian amenities discourage people from exploring the downtown on foot, and discourage retail businesses and restaurants from locating there.

#### **Principle 6 : Unify the downtown with common design elements**

While allowing individual or area identity. Public streetscape and green spaces should include common design elements, such as paving materials, lighting, and street furniture in order to create a unified character for the downtown. Likewise, architecture should have elements that are repetitive or common in order to unify the whole. Within this unifying structure, however, there should still be ample room for individual expression. Architectural styles differ throughout the downtown, but a similar family of materials and streetscapes will help to unify them.

#### **Principle 7 : Enhance gateways and view corridors.**

The design of public and private areas that serve as gateways into the downtown, or that terminate views down important streets should be given special consideration. Examples of gateways to the downtown include the intersection on Ash immediately to the east of the railroad tracks, or the intersection of William and Ash Streets. These areas provide the opportunity to welcome visitors and residents into the downtown, and to establish or reinforce its unique identity.



*Savannah's downtown exemplifies successful urban design principles through its well-preserved historic architecture, pedestrian-friendly streets, and vibrant public squares. The city's layout encourages walkability, with tree-lined streets and ample green spaces that foster community interaction. Additionally, the integration of mixed-use developments enhances the area's livability, making it a model for balancing residential, commercial, and recreational spaces. (See Principle #3)*

# DESIGN PRINCIPLES FOR SUCCESSFUL DOWNTOWNS

## Section 2.0

### ARCHITECTURAL DESIGN PRINCIPLES

#### Section 2.2

**1. Draw on regional styles of architecture to reinforce a sense of place.**

Incorporate regional architectural styles to enhance local identity. Modern construction should reflect historical proportions and materials without replicating the past, using current technology to interpret regional architecture and avoid mismatched styles like southwestern adobe.

**2. Orient the main facades of buildings to the street.**

Orienting the main facades of buildings towards the street enhances visibility and accessibility, creating a welcoming atmosphere. This design principle fosters interaction between pedestrians and the built environment, contributing to vibrant streetscapes and a cohesive urban experience.

**3. Avoid blank facades on the ground level and especially on the street.**

Avoiding blank facades at the ground level, particularly on the street, enhances visual interest and engagement. Active facades with windows, entrances, and displays invite pedestrian interaction, contributing to a lively urban environment and fostering a sense of community.

**4. Articulate buildings for visual interest.**

Use of features such as brick banding, arched windows, articulated facades and cornices, interesting roof lines, setbacks on taller buildings and paneled storefronts adds to the visual interest when seen both from a distance and nearby.

**5. Use high quality building materials to provide a quality image, fire safety, and permanence.**

Using high-quality building materials enhances the overall aesthetic, ensures fire safety, and promotes durability. This approach not only elevates the visual appeal of structures but also contributes to long-term sustainability and resilience, fostering a sense of trust and value in the community.

**6. Use sites of visual prominence to create architecture that responds to the opportunities presented.**

Buildings that terminate views down important streets and buildings at important intersections are examples of perfect locations for special buildings or architectural features that celebrate their visual prominence.

**7. Articulate the ground floor of buildings to respond to the pedestrian.**

Require ground floor architecture in commercial areas to be open to the street. Traditional storefronts enhance activity and civic life through displays. Even non-retail spaces, like restaurants or offices, should use transparency for attractive entry areas or views. Large buildings with few windows can incorporate outdoor seating or gardens. Prioritize safety while recommending open grates or thick glass over solid metal shutters to maintain street appeal when stores are closed.



Elements such as floral displays, landscaping, portals, and special paving can be combined to create a gateway into the downtown or important destinations within it. See #7



A continuous "street wall" of buildings creates an attractive pedestrian environment. See #4, a "Strip" type uses and patterns of development on George Street are not appropriate for the downtown. See #5

# DESIGN PRINCIPLES FOR SUCCESSFUL DOWNTOWNS

## Section 2.0

### PEDESTRIAN PRIORITY

#### Section 2.3

##### **1. Draw on regional styles of architecture to reinforce a sense of place.**

Give priority to pedestrians. The goal of all elements in the plan and guidelines should be to create an attractive, unified and walkable environment that responds primarily to the needs of people rather than automobiles. Creating a pedestrian-friendly environment should include the following elements:

- *Barrier-free design both on the street and into and around buildings.*
- *Separation between pedestrians, bikes and vehicles.*
- *Creation of an interlocking pedestrian system within the entire downtown including sidewalks, street crosswalks (with crossing lights where necessary), and enhanced alleyways.*
- *A comprehensive system of public signage to orient and inform the visitor to the downtown.*

##### **2. Create pedestrian spaces in retail and commercial areas that add to the life of the downtown.**

In retail/commercial areas, the emphasis should be on parking one's vehicle and enjoying the area on foot. This translates into the need for connections, color, detail, wayfinding signage, interesting architecture, sun and shade, safe and attractive sidewalks, streets, parks and plazas. Elements that add to an active pedestrian environment should include:

- *Active uses, detailing and transparency on the ground floor of all buildings;*
- *Seating areas, parks and plazas integrated into the overall streetscape design to create safe, attractive areas for a whole range of activities from quiet conversation to large events;*
- *Encouraging private spaces that add to the success of the downtown through the provision of such amenities as outdoor cafes and restaurants, seating areas, landscaping, and spaces for display or special events.*

##### **3. Street-Oriented Facades and Accessible Infrastructure: A Renovation Priority**

Prioritizing street-oriented facades enhances building visibility and engagement, while accessible infrastructure like sidewalks and ramps ensures inclusivity and safety for all pedestrians during renovations:

- *Prioritizing street-oriented facades enhances building visibility and engagement.*
- *Accessible infrastructure like sidewalks and ramps ensures inclusivity for all pedestrians.*
- *Renovations should focus on creating safe and welcoming environments.*
- *Improved accessibility contributes to a vibrant and functional urban space.*

##### **4. Avoid Blank Facades and Enhance Streetscapes with Ground-Level Activity and Street Trees**

Revitalize urban spaces by eliminating blank ground-level facades, promoting active storefronts, and incorporating street trees. This approach fosters pedestrian engagement, beautifies downtown areas, and creates a more vibrant, unified cityscape.

- *Eliminate blank ground-level facades to enhance visual appeal and engagement.*
- *Promote active storefronts that attract foot traffic and encourage community interaction.*
- *Incorporate street trees to beautify the environment and provide shade for pedestrians.*
- *Foster a vibrant, unified cityscape that enhances the overall urban experience.*



*Imagine streets where feet rule, not cars. Shops, cafes, and schools just a stroll away. Tree-lined paths connect vibrant plazas. A town designed for people, not traffic – where community thrives with every step.*



# 3.0 DESIGN PRINCIPLES FOR SUCCESSFUL DOWNTOWNS

*•Existing Architectural Styles in Central Business District*

# GUIDELINES FOR BUILDING REHABILITATION

## Section 3.0

### EXISTING ARCHITCTURAL STYLES IN CENTRAL BUSINESS DISTRICT

#### Section 3.1

### Commercial Building Styles

- **Mediterranean Revival:** Characterized by stucco exteriors and tile roofs, this style reflects the region's cultural heritage. *The Alice B. McClelland Memorial Bandshell* is a notable example.
- **Neo-Classical:** Buildings like the *Eustis City Hall* and the *Eustis Women's Club* showcase this style, featuring grand columns and symmetrical shapes, emphasizing elegance and historical significance.
- **Italianate:** *The Grand Magnolia Inn* exemplifies this style with its ornate brickwork and decorative details, common in commercial buildings from the early 20th century.
- **Masonry Vernacular:** Structures such as *Crazy Gator's Restaurant* and the *Iron Block Building* reflect practical design with local materials, often featuring brick facades and functional layouts.



• The Alice B. McClelland Memorial Bandshell



The Grand Magnolia Inn



Eustis City Hall



The Crazy Gator

### Residential Building Styles

- **Craftsman Bungalows:** Known for their low-pitched roofs, wide eaves, and exposed rafters, these homes often feature built-in furniture and extensive woodwork.
- **Mediterranean Revival:** Characterized by stucco exteriors, tile roofs, and arched doorways, these homes evoke a warm, inviting atmosphere.
- **Contemporary Styles:** Many newer homes incorporate modern design elements with open floor plans, large windows, and eco-friendly materials.
- **Cabin-style Homes:** These residences often feature wooden exteriors and rustic charm, providing a cozy retreat that blends with the natural surroundings.



Mediterranean Revival



Craftsman Bungalows



Contemporary Styles

# GUIDELINES FOR BUILDING REHABILITATION

## Section 3.0

### ARCHITECTURE REHABILITATION GUIDELINES

#### Section 3.2

#### 1.Draw on regional styles of architecture to reinforce a sense of place.

The National Park Service has established standards for the renovation and restoration of historic structures, known as the Standards for Rehabilitation. These standards are based on ten principles aimed at preserving the unique character of historic buildings while allowing for necessary changes.

Buildings in American Main Streets and older neighborhoods evolve over time, resulting in a blend of new and old structures. This is especially evident in commercial areas, where storefronts may have been modified multiple times to adapt to modern marketing trends. Historic commercial buildings often exhibit “split personalities,” with upper floors retaining their historic character while first floors are modernized.

The Historic Design Guidelines in this chapter align with the Secretary’s standards, guiding the maintenance of buildings in harmony with their historical context. Each building has a unique history and architectural narrative, warranting individual consideration. If original details have been lost, owners are encouraged to seek historical photographs or study similar restored buildings to inform appropriate architectural details for rehabilitation.

#### General Guidelines

- **Preserve and enhance historically significant building elements.**
- **Prioritize architectural restoration over renovation when possible.**
- **Retain critical design qualities like massing, scale, and fenestration rhythm.**
- **Do not cover façade details like cornice ornaments to minimize maintenance needs.**
- **New construction should align with the building's period, style, and district character.**
- **Consider preservation before replacing historic elements; ensure additions complement original materials and design.**
- **Carefully maintain all elements, especially historic ones, ensuring repairs match original materials and appearance.**

*Building owners should be particularly aware of the importance of the following guidelines as they consider improvements and changes to their properties.*

#### Roofs, Gutters and Downspouts

Roofing materials, whether historic or modern, have a limited lifespan and typically need replacement over a building's life. Original roofing materials included wood shingles, slate, terra-cotta tiles, metal, and asphaltic membranes, while modern options consist of asphalt shingles, cement tiles, and rubber or man-made membranes. The choice of roofing material depended on the roof's form and architectural style.

For historic and modern pitched roofs, shingles, slate, or metal can be used, but flat roofs require metal or membrane materials. Original or historically accurate roof materials should be repaired or replaced in-kind. If repair is not feasible, replacement with appropriate historic materials is necessary. For flat or low-pitched roofs not visible from the ground, rubber or man-made materials may be acceptable.

When replacing non-historic or irreparable historic roofing, the existing roof must be removed. Many older buildings feature integral gutters, which should be repaired rather than replaced. Retain half-round metal gutters and round downspouts, using appropriate metals like copper or aluminum; avoid galvanized steel due to rust.

Different architectural styles had specific roofing characteristics: Federal and Victorian buildings often had steep pitched roofs for shingles or metal, Greek Revival roofs were low-pitched and covered in metal, and Italianate roofs were typically clad in asphalt or metal. Gothic Revival roofs were gabled and used metal, slate, or wood shingles, with metal being rare in urban settings.

Changes to roof form or historic elements, such as adding or removing dormers on the front, are generally inappropriate unless necessary for structural integrity or planned additions.

#### Dormers and Cornices

Dormer and cornice details often reflect and even enhance the architectural style of a building. Details such as dentils, brackets, and pilasters shall not be covered over or enclosed to reduce the need for maintenance. Dormers and cornices in new construction and additions shall relate appropriately to the details of the original building.

#### Windows

Window types change with architectural styles. Historically, window pane sizes were dictated by available glass, with smaller panes in the Federal period and larger single panes in the Modern period. Common designs included single-hung and double-hung windows, the latter having two operable sashes.

Italianate windows were typically double-hung with two long rectangular panes per sash, often featuring a larger single pane. Existing windows should be repaired when possible, and adding screens or storm windows can enhance usability. If replacement is needed, new windows must match the originals in materials, operation, and glazing style. Multi-pane sashes should be replaced with single glazed sashes that reflect the original pattern, and storm windows can improve thermal resistance.

Original window openings must be preserved. Upper floor windows in commercial and residential buildings should be wood, possibly clad if not painted. Commercial storefronts should be restored to their original appearance if records exist; otherwise, renovations should reflect the period's style.

Unacceptable options include replacement windows with snap-in muntins, tinted glass, and vinyl or metal windows. Exceptions may apply to rear facades or areas not visible from the street, evaluated on a case-by-case basis.



The house shown above is a classic example of Italianate architecture. Note the narrow vertical windows with arched tops, bracketed eaves, and elaborate porch.



This close-up of the house on the next page shows how the gutter design is integrated into the architecture of the house. Such design details should be retained if possible.



Windows add not only light, but interest. Note the various types of trim and moldings on the cornices and windows of these buildings



# GUIDELINES FOR BUILDING REHABILITATION

## Section 3.0

### ARCHITECTURE REHABILITATION GUIDELINES

#### Section 3.2

#### Exterior Wall Cladding and Trim

Maintaining original materials for exterior walls is essential. Wood siding and trim must be repaired and repainted instead of replaced with new siding. Areas of deterioration should be patched with matching materials rather than residing or replacing the entire wall surface. Covering existing wood siding with aluminum or vinyl siding is prohibited in the historic district, as are materials like T1-11 plywood, vertical siding, and composite shingles. Corner boards, window trim, and door surrounds should be reused or recreated in the original material, and detailed wood trim must not be covered with flat stock aluminum or vinyl. The original cadence of siding must be preserved, with new siding matching the original spacing. If existing clapboard and trim cannot be salvaged, Hardy Plank and similar modern materials may be used with design review committee approval.

New materials for repairing or repointing historic masonry must match the originals. Brick used to fill openings from inappropriate modifications should blend with the original brick pattern. Careful selection of new bricks is crucial, as salvaged or “historic” bricks may not match in color or texture. Repointing should utilize mortar that is as soft or softer than the original, with new joints matching the tooling, color, and size of the original. Any masonry trim, such as brick corbelling, should be repaired or reconstructed rather than covered. In cases where brick facades have been covered with aluminum siding or stucco, careful consideration should be given to removing these materials, provided the original brick can be preserved without significant damage.



Historic commercial buildings such as these on Center Street have had their original facades covered by aluminum siding. This siding should be removed and original facades restored.



The color scheme for this Foursquare Victorian, including lavender paint with white and purple trim, is appropriate for a house of this period and design. This house also illustrates appropriate working shutters on the second floor.

#### Shutters

Shutters are an important feature on many buildings, serving practical and aesthetic functions. They are designed to cover windows and protect them from various weather conditions throughout the year. On the first floor, shutters often have solid panels for security, providing protection for street-level windows, which are more exposed to potential break-ins and harsh weather. This solid construction enhances safety while contributing to the building's overall character.

For upper levels, shutters typically feature louvers, allowing for ventilation while shielding the interiors from rain and direct sunlight. This design promotes airflow, helping to regulate indoor temperatures and maintain comfort. Shutters are proportioned to completely cover the windows when closed and are always operable, enabling occupants to adjust them based on weather conditions or personal preference.

When replacing shutters, it is essential to maintain these functional aspects. New shutters should replicate the original design in size, material, and operability. First-floor shutters should retain solid panels for security, while upper-level shutters should feature louvers for ventilation. By adhering to these guidelines, replacement shutters will preserve the building's integrity while enhancing its functionality and aesthetic appeal.

#### Paint Colors

Historically, paint colors varied with changes in tastes, reflecting different periods and styles. The following are guidelines for selecting paint colors based on the specific period and style of each building type. It must be understood that this is only a guide for selection. Paint schemes for Federal and Greek Revival buildings often used colors with high contrast to replicate traditionally used marble materials. These buildings usually had white trim with shutters painted a dark color such as green or black. In Italianate style buildings, wood siding was often painted to resemble masonry, with grays and earth tones being most popular. Trim was painted in contrasting colors, including browns, grays, and fawn.

Victorian houses often used bright colors, with the darkest colors reserved for the trim and frequently incorporating more than two colors. There are many printed and online resources discussing color palettes for Victorian-era houses. Although bright colors were common in Victorian houses, it may be wise to consider the context: the brilliant colors of San Francisco Victorians may be a little out of place among more conservatively painted houses in Eustis - Central Business District.

Gold, yellow, sage green, dark red, and dark blue with white or cream trim appear to have been common colors used in the Victorian era in Eustis - Central Business District. There is information available locally and nationally about period-appropriate color choices, and many paint brands now carry historic or even “National Trust”-approved colors.

## **4.0 GUIDELINES FOR NEW COMMERCIAL/CIVIC BUILDINGS IN THE CENTRAL BUSINESS DISTRICT**

- *Central Business District (CBD) Defined*
- *Allowed Uses Site Design Guidelines*
- *CBD Commercial Architecture Guidelines*

# GUIDELINES FOR NEW COMMERCIAL/CIVIC BUILDINGS

## IN THE CENTRAL BUSINESS DISTRICT

### Section 4.0

#### CENTRAL BUSINESS DISTRICT DEFINED

##### Section 4.1

#### Eustis Central Business District: A Hub of Community Life and Economic Growth

The Central Business District (CBD) serves as the vibrant heart of Eustis, embodying the community's identity and aspirations. This area is characterized by its bustling atmosphere, where local businesses, cultural attractions, and public spaces converge to create a lively urban environment. The red areas highlighted on the map on page 3 represent key zones within the CBD that are essential for fostering economic growth and enhancing the overall quality of life for residents and visitors alike.

##### Primary goals for the Eustis Central Business District include:

- Enhancing Walkability:** Creating pedestrian-friendly pathways that connect shops, restaurants, and schools, encouraging foot traffic and community interaction.
- Promoting Local Businesses:** Supporting small businesses and local entrepreneurs to thrive, which in turn boosts the local economy and creates job opportunities.
- Cultural and Recreational Spaces:** Developing parks, plazas, and cultural venues that serve as gathering places for community events, fostering a sense of belonging and civic pride.
- Sustainable Development:** Implementing environmentally conscious practices in urban planning and development to ensure a sustainable future for the community.
- Improving Accessibility:** Ensuring that the CBD is accessible to all, including those with disabilities, by enhancing public transportation options and infrastructure.

Commercial buildings in the CBD should form a continuous street "wall."



#### ALLOWED USES

##### Section 4.2

#### Eustis Central Business District: The Vibrant Heart of Our Community

Uses allowed in the CBD include commercial, residential, institutional, office, and service. Gas stations and auto-related businesses are prohibited, except existing businesses, which are grandfathered under current ownership or tenancy only.

#### SITE DESIGN GUIDELINES

##### Section 4.3

##### 1.Placement of Structures

Buildings should generally align with the property line at the back of the sidewalk to create a street "wall." Exceptions include significant civic buildings, mid-block pedestrian connections, and public spaces like pocket parks and outdoor dining areas, which require City and Historic District Commission approval.

##### 2.Off-street parking

Parking must comply with City standards and CBD guidelines, requiring it to be located behind buildings or, by exception, on the side, with access from the rear or side streets. Shared parking among businesses is encouraged, and it must be screened from streets and sidewalks with a 30-36" hedge, masonry wall, or a taller fence of masonry and metal pickets, avoiding solid materials over 36" for security reasons. Additionally, parking must be set back at least 5' from property lines, with existing front parking removed. Side parking is only allowed by exception if properly screened and landscaped.

##### 3.Service areas

Service areas, including loading zones, trash receptacles, mechanical equipment, and dumpsters, must be screened from public view. In high-density areas, dumpsters should be consolidated for multiple businesses. Enclosures near buildings should match the building materials and be tall enough to block street-level views, while those further away should use approved masonry or wood fencing.

##### 4.Storage areas

Areas used to store vehicles, equipment, or materials must be screened with a masonry wall, hedge or fence with landscaping of sufficient height and density to block views from street level.

##### 5.Pedestrian access

Parking areas for commercial businesses must provide clearly marked, well-lit pedestrian access to public sidewalks and building entries, as shown in the example, where lighting and paving align with the downtown's quality and style.

##### 6.Rear Entries

Attractive rear entries to businesses are encouraged. If residential units are on the upper floors of commercial buildings, entries adjacent to parking areas are required. In large developments, rear entries and passageways to primary streets are encouraged.

##### 7.Driveways

Driveways should be consolidated within a property or combined to serve multiple adjacent properties whenever possible. Access from main pedestrian thoroughfares in downtown is discouraged; instead, access from side streets or the rear of the property is preferred.

##### 8.“Drive-Through” businesses are discouraged in the downtown

Driveways should be consolidated within a property or combined to serve multiple adjacent properties whenever possible. Access from main pedestrian thoroughfares in downtown is discouraged; instead, access from side streets or the rear of the property is preferred.

##### 9.Adjacent residential uses

Where commercial uses border residential areas with detached or attached homes, a 6' masonry or wooden fence must be installed to screen parking and service areas. For parking areas of two bays or more, a 10' setback with trees is also required alongside the fence.

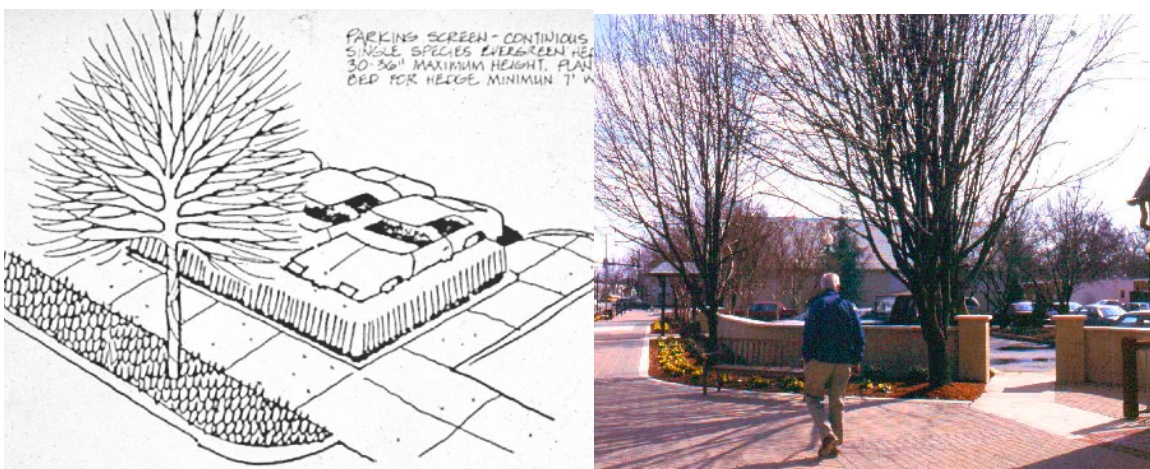
##### 10.Fencing and Screening Materials

- Double staggered row of approved hedge material
- Landscaped beds acting as screens with approval and appropriate ongoing maintenance
- Masonry piers and low foundation with metal pickets (for parking areas only, not storage areas)
- Masonry or split-face block walls for screening
- Approved wooden privacy fencing (in the rear of properties only)
- Poured concrete, broken face block or light stucco finish block.

##### Prohibited screening and fencing materials:

- Chain or chain link (except temporary installations at construction sites)
- Unfinished pipe railings split rail, stockade, picket or
- other suburban/rural styles of fencing
- Prefabricated wooden fencing
- Prefabricated PVC fencing
- Unfinished concrete block

Inappropriate screening and fencing materials including split rail and chain and galvanized pipe railing.



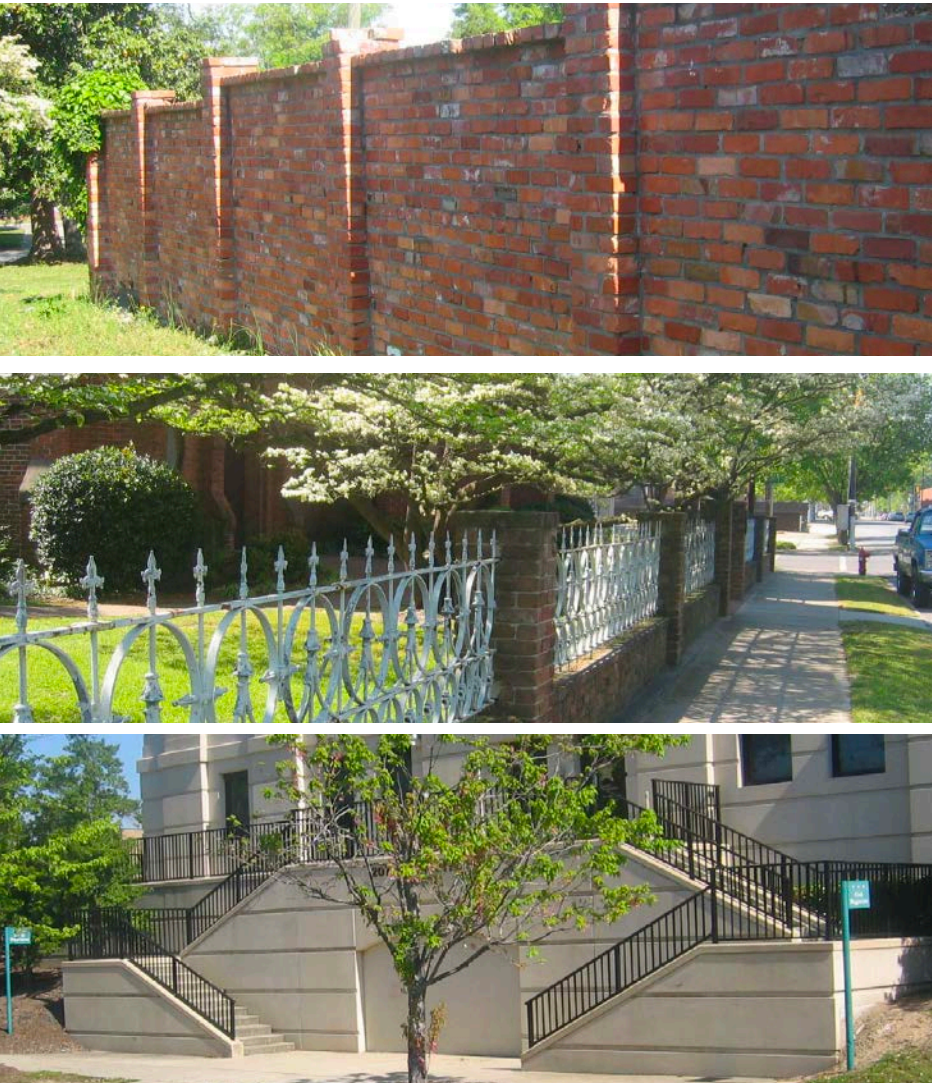
This drawing shows a 30-36" hedge used to screen a parking area from the sidewalk.

The photo above shows a 30" hedge used to screen a parking area from the sidewalk.

The left photo displays a trash enclosure made of broken-face block with wood gates. The right photo shows a pedestrian walk-through from parking to the street, highlighting the need for detailed design in CBD connections to welcome visitors.



##### Examples of appropriate screening and fencing.



# GUIDELINES FOR NEW COMMERCIAL/CIVIC BUILDINGS

## IN THE CENTRAL BUSINESS DISTRICT

### Section 4.0

#### CENTRAL BUSINESS DISTRICT ARCHITRCTURAL GUIDELINES

Section 4.4

##### Exterior Wall Cladding and Trim

For **historic commercial buildings with altered facades**, these guidelines are meant to help restore appropriate proportions and materials. Information on appropriate materials is contained in Section 3.0, Historic Design Guidelines. Where historic photographs or drawings remain, these documents should guide restoration work. Where none exist, the historic design guidelines are the primary reference, and the guidelines below can help in reestablishing the harmony of traditional storefronts.

**The architecture of new structures** within the Central Business District should enhance the existing architecturally or historically significant buildings that will remain. These guideline do not promote the idea that new construction should be designed to look “historic”. New construction should be “traditional” in character, while reflecting the time period of its creation. Consistency in the use of materials and details can help define the Central Business District’s sense of place. The traditional multi-story “storefront” structure should be the predominant building type in the Central Business District, especially on Center and Walnut Streets. See Section 5 for guidelines for new residential construction.

##### 1.Placement of Structures

New or replacement structures should front on the sidewalk in line with existing structures, with exceptions for public space and significant buildings as noted in the site design guidelines. This will continue the pattern of building facades enclosing the pedestrian space. Most buildings should be constructed to fill the full width of a given property, to create a street front “wall” composed of several buildings. Carefully located alleys that allow pedestrian access from city block interiors and light to upper stories are also allowed with site plan review and approval.

##### 2.Massing and Height

Heights allowed are specified in the zoning ordinance. It is assumed that most new commercial buildings will be 2-3 stories, but buildings taller than this will be allowed with review. When designing taller buildings that will be sited near buildings that are 2-3 stories, care should be taken to ensure that the taller buildings do not overwhelm the shorter buildings. This can be accomplished by such architectural design elements as setbacks of the taller portion of the building at the two- or three-story level, and articulation and massing that allows light to reach surrounding buildings and the street.

##### 3.Materials Recommended materials for the Central Business District include:

###### Sliding Materials

- Brick in approved range of colors (for the predominantexterior material).  
Brick used in new construction shall not be painted. Brick may be painted in rehabilitation projects subject to the approval of the reviewing agency.
- Stone, cast stone or architectural concrete

###### Trim or accent materials

- Split-face concrete masonry
- Ceramic tile in appropriate colors
- Wood (e.g. accent material such as panelled storefronts)
- Metal framing (Note: aluminum storefront framing systems must be designed with careful consideration of proper proportions of the framing members in order to be successful)
- Cast or wrought iron
- Smooth textured stucco
- Sheet metal (parapet wall copings, etc.)
- Fabricated millwork (Fiberglass or structural foam)

###### Trim or accent materials

- Split-face concrete masonry
- Ceramic tile in appropriate colors
- Wood (e.g. accent material such as panelled storefronts)
- Metal framing (Note: aluminum storefront framing systems must be designed with careful consideration of proper proportions of the framing members in order to be successful)
- Cast or wrought iron
- Smooth textured stucco
- Sheet metal (parapet wall copings, etc.)
- Fabricated millwork (Fiberglass or structural foam)

###### Glazing Materials

- Clear glass, glass block
- Textured, faceted or stained glass as an accent.

###### Roofing Materials

- Standing-seam metal roofs
- Slate
- Clay tile
- Membrane roofing (built-up roofing, single-ply roofing, etc.) screened by parapets at front and sides

###### Awnings

- Fabric awnings only

###### Prohibited materials include:

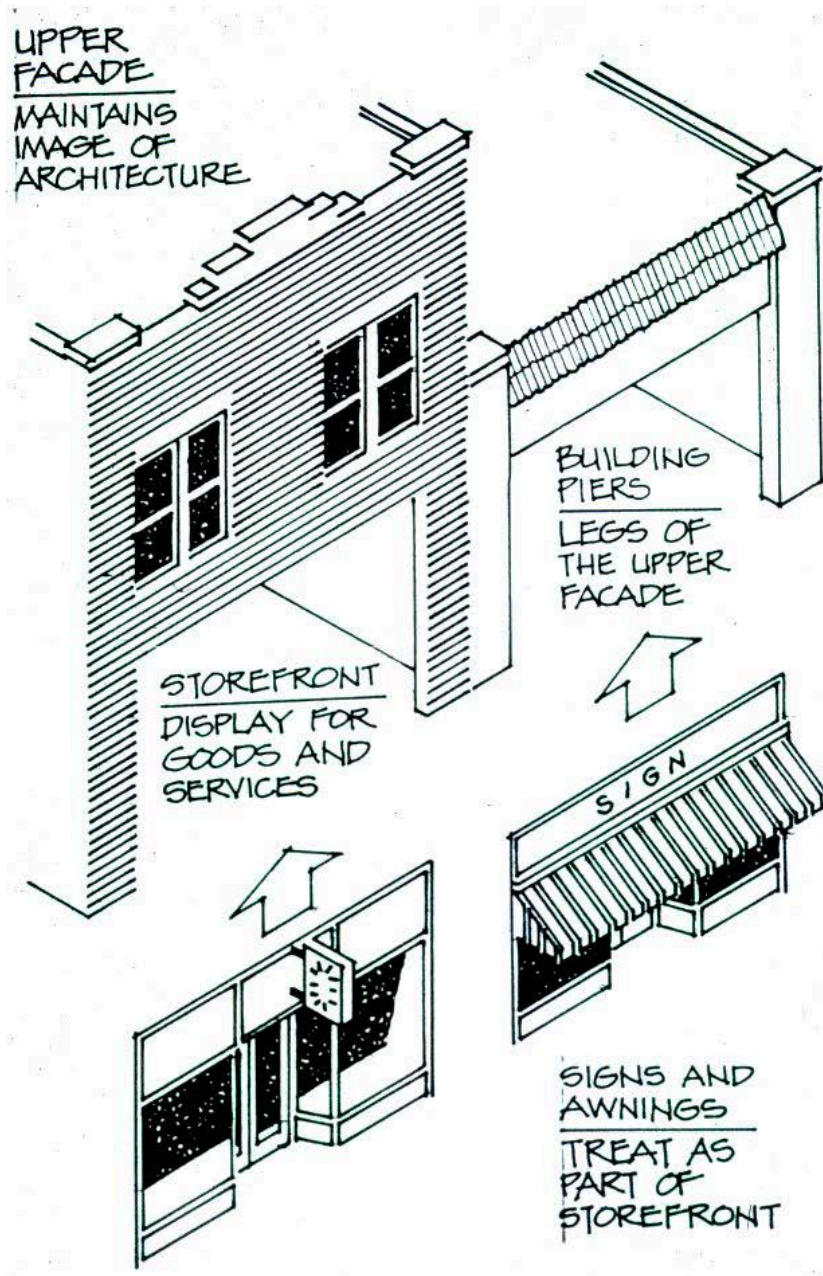
- “Mirrored” or opaque glass
- Colored glass
- Wood shakes or shingles
- Heavily textured stucco
- Imitation stone texturing (formstone)
- Clapboard sidings, whether wood or alternative materials
- Metal Awnings or canopies
- Backlit canopies or awnings
- Plastic awnings



The above buildings are an example (from **Downtown Fernandina Beach**) of a continuous “street wall” containing the pedestrian space. See item 1 at right.



The building on the right, though new, is “traditional” in character, with mass, height, window scale and type, material, and embellishment similar to historic structures nearby.



The parts of a commercial building facade.

##### 4.Building Scale and Proportion

In general, building facades in the Central Business District should have windows that have a vertical emphasis, that is, windows that are taller than they are wide. Windows should be organized into regularly spaced patterns within the wall surface. The building facade should be broken into vertical and horizontal “panels” through the use of pilasters or other surface textures. See examples at left and on the next page.

# GUIDELINES FOR NEW COMMERCIAL/CIVIC BUILDINGS

## IN THE CENTRAL BUSINESS DISTRICT

### Section 4.0

#### CENTRAL BUSINESS DISTRICT ARCHITECTURAL GUIDELINES

Section 4.4

##### 5. Building Elements.

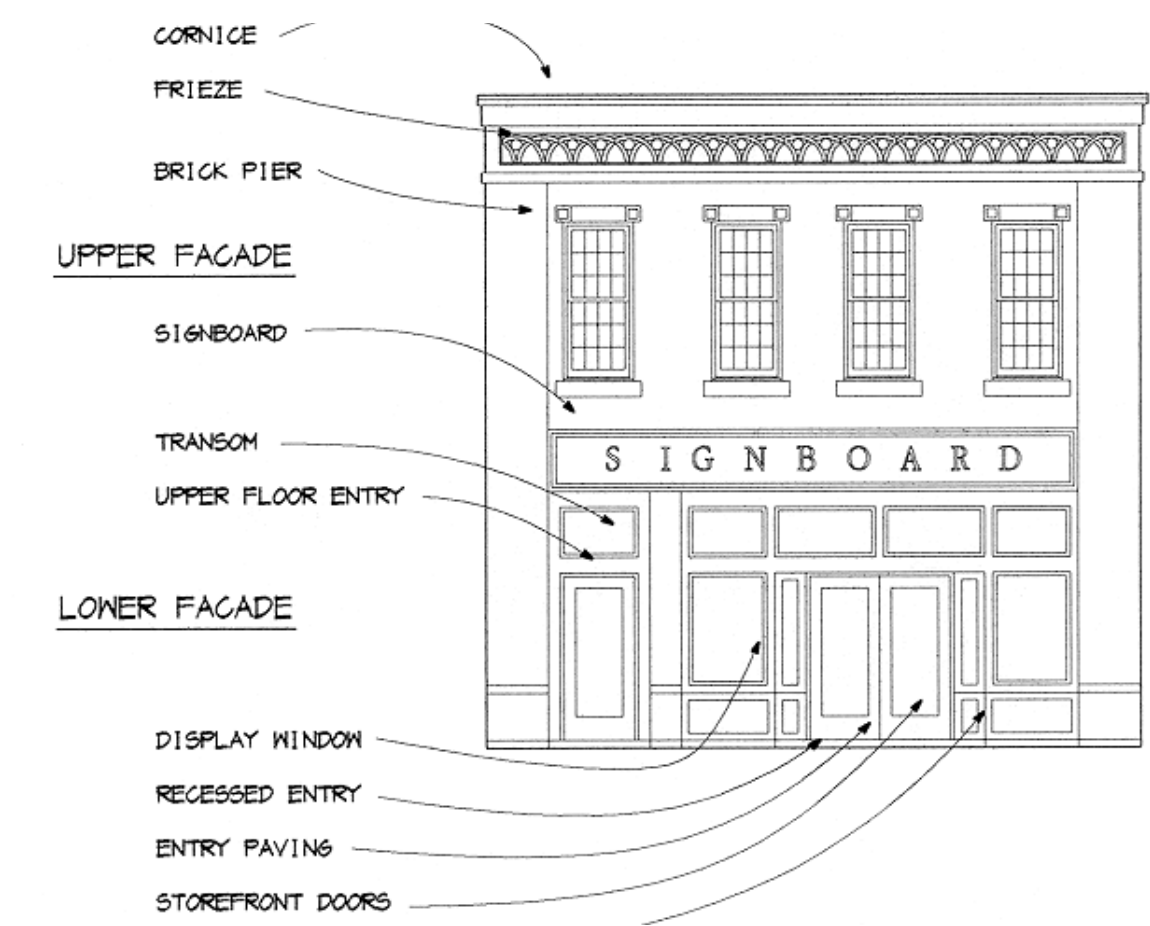
The various components used in the composition of a building design greatly affect the success of a design and its compatibility with its context. The following descriptions provide guidance for various components used in traditional commercial structures.



Attractive storefronts add interest and color to the street.



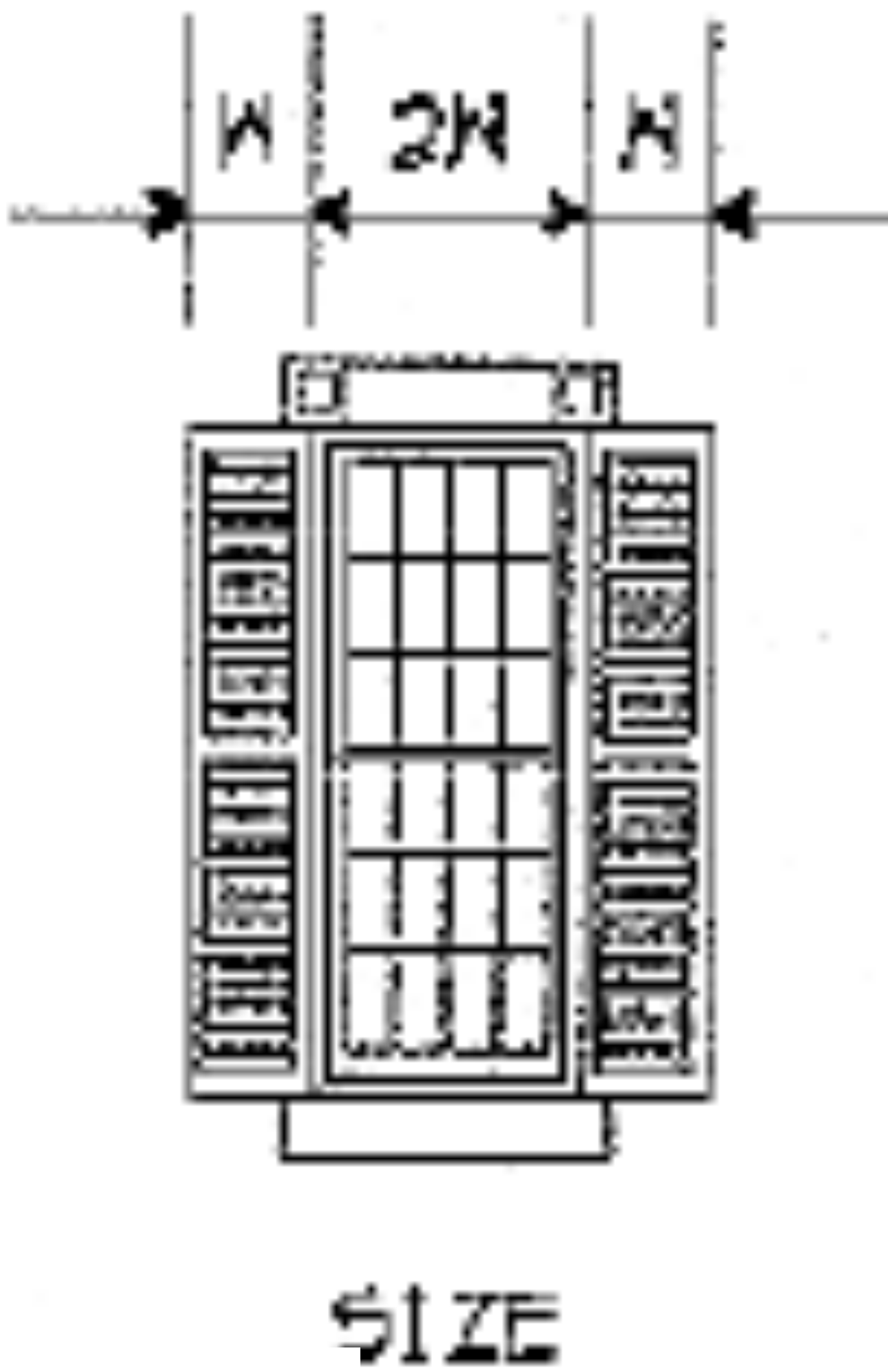
Attractive storefronts add interest and color to the street.



Parts of the commercial storefront.

##### Upper Floor Windows

The most typical type of window found in the upper floors of traditional commercial buildings in this region is doublehung sash. These windows are taller than they are wide, and have a horizontal rail that divides the upper half from the lower. A wide variety of contemporary window types constructed from a range of materials can be used to successfully interpret this tradition. Acceptable window types include single-hung and double-hung. Additional configurations such as casement sash or fixed windows may be acceptable if configured with a horizontal rail that mimics the proportions of double-hung sash. Windows may have further dividing members, but such divisions shall be either “true divided light” construction or permanent exterior grilles. Interior grilles alone or grilles set between the panes of double glazing are not acceptable. Windows may be constructed of wood, wood clad in vinyl or prefinished metal, or from aluminum or other appropriate metal.



##### Storefronts

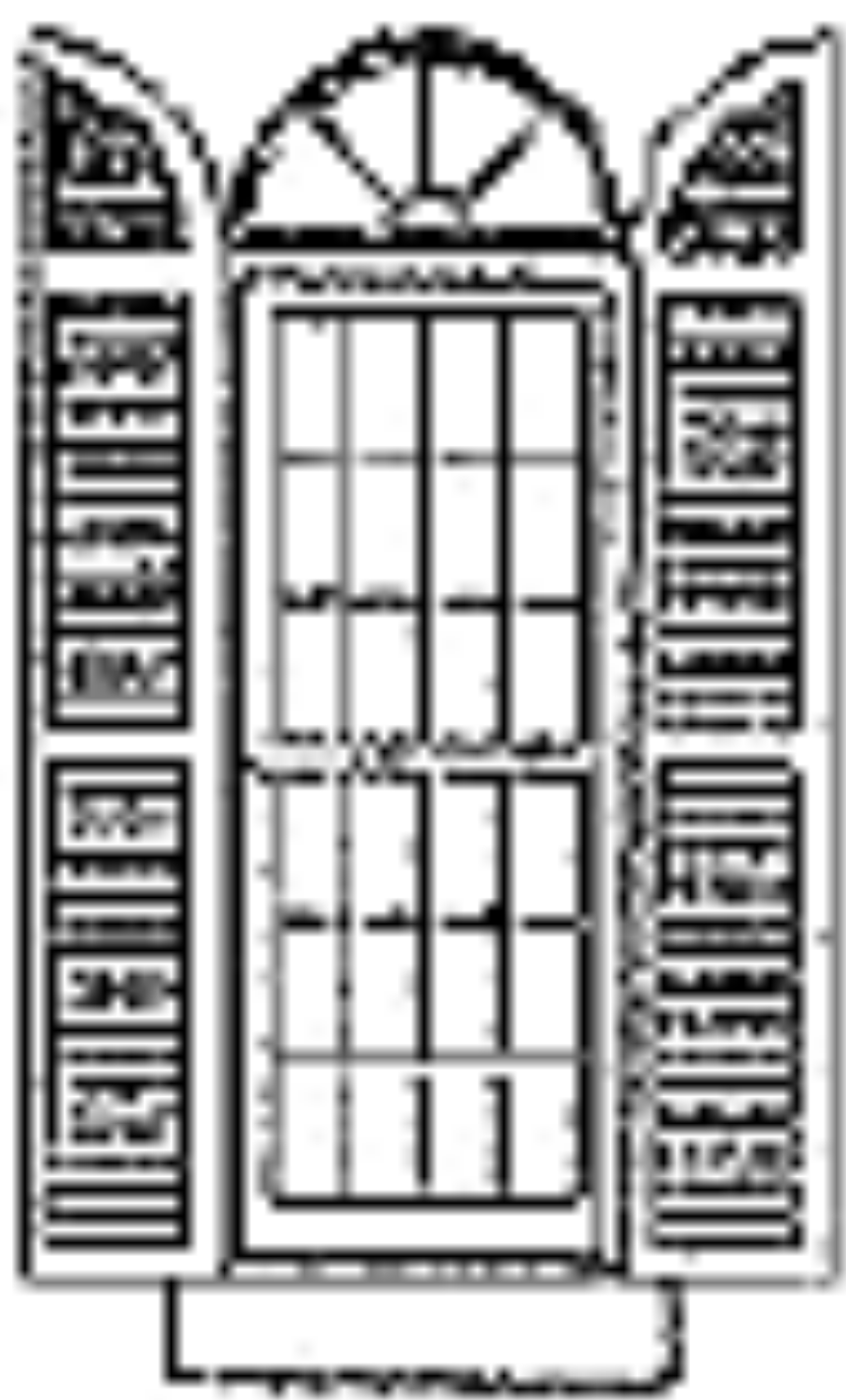
The first floor storefront should be composed of large expanses of glazed openings (see examples at left). These allow for the display of merchandise in retail uses, but are also appropriate for other uses such as restaurants or offices. Features such as transoms allow for natural light to penetrate deeply into the building. The use of awnings can shade these large glass areas and allow for the introduction of appropriate colors to enliven the pedestrian experience. Framing for storefront glazing should be wood or metal. Metal framing should be a minimum of 2” wide.

##### Doors

A major factor in the creation of a compatible building design is consistency. It is imperative that the doors used on commercial structures follow the traditional format for “commercial” doors. The use of door configurations more typically found on residential structures such as paneled doors or “crossbuck” doors is not appropriate. If aluminum storefront doors are used, only the “wide stile” type of door is appropriate. “Narrow” or “medium” stile aluminum doors should not be used. Metal and wood framing for storefront glazing should be a minimum of 2” wide.

##### Shutters

Shutters can provide emphasis to the upper stories of a building and can introduce elements of color to a building facade. However, there are some basic requirements for shutters to be appropriately installed. The size and shape of shutters should correspond to the size and shape of the window opening (see drawings to the right). Shutters can be mounted to operate, or if mounted in a fixed position, should be placed immediately adjacent to the window jamb. Wood and architectural composites (by approval) are acceptable materials for shutters. PVC plastic is prohibited.



Some characteristics of shutters. Often shutters on the first floor of commercial buildings were solid or paneled, and on the second floor were louvered.

##### Equipment and Technology

Mechanical equipment should be located on the roof or at the rear of buildings if ground-mounted equipment is used. Ground mounted equipment shall be screened and rooftop equipment shall not be visible from the street. Careful planning of rooftop equipment locations will allow the roof parapet, roof, or roof forms to serve as an effective screen. Many companies utilize satellite dishes for business purposes. Television antennae, satellite dishes and similar equipment should be as small as feasible and located so as not to be visible from the street.

## 5.0 GUIDELINES FOR NEW RESIDENTIAL BUILDINGS

- *Residential District Defined*
- *Residential District Site Guidelines*
- *Residential Architectural Guidelines*

# GUIDELINES FOR BUILDING REHABILITATION

## Section 5.0

### GUIDELINES FOR NEW RESIDENTIAL BUILDINGS

#### Section 5.1

##### Residential District Defined

This section applies to all the residential areas within the Historic District (shown onpage 2) and Master Plan area (shown on page 4). On page 3, residential areas within the Historic District are shown in blue. Existing residential structures within the Historic District must use the Historic District Guidelines for renovations. New Structures within the Historic District must also follow the Historic District Guidelines as they relate to materials. This section provides guidance for siting and building design for all new residential structures within both the Historic District and the master plan area.

The intent of these guidelines is to create residential neighborhoods that draw upon and reinforce the best principles of traditional neighborhood design. It is understood that the residential areas may include residential buildings of all types, including single-family detached, attached housing, apartment buildings, and condos. These guidelines apply to the site design and form of buildings only, uses may vary as specified in the Unified Development Ordinance. For example, home and professional offices are allowed in the residential districts, as long as the guidelines for site design and building form are followed.



The rhythm of porches along the street is a pleasant and typical detail in traditional residential neighborhoods such as those surrounding downtown. See 5.2

### ALLOWED USES

#### Section 5.2

Residential uses occur throughout the downtown and take a variety of forms from single family structures to townhomes, apartment or condo buildings, or apartments over commercial in the CBD. However, in areas of the plan that are primarily residential (shown in blue on the map on page 3), new infill commercial or service uses are not allowed, except existing uses which are grandfathered under the current ownership only. In transition areas between the CBD and residential neighborhoods mixed uses are allowed, but each site plan should be carefully considered to ensure compatibility with any adjacent residential use.

### RESIDENTIAL DISTRICT SITE GUIDELINES

#### Section 5.3

##### 1. Buildings oriented to the street

The front façade of the architecture in residential areas should be oriented to the street. Where lot and block configurations allow, vehicular access from the rear is favored. Where driveways must be placed in the front, garages and/or parking areas should be set back from the front facade. If lot size permits, garages may be located next to the main structure (attached) but it is preferred that the garage entrance be oriented away from the street. Permanent parking areas are only permitted in front yards by exception and with review.

##### 2. The use of porches and traditional detailing

Front porches are an almost universal feature of residential architecture in eastern North Carolina. This regional tradition should be incorporated into the design of all detached homes and townhouses.

##### 3. Front yards

Homes in the downtown should include front yard setbacks as specified by the zoning ordinance. Generally, a minimum of 20’ (measured to the front porch, not the main wall of the building) for detached structures, and 15’ (to the porch) for townhouses is recommended. In areas with existing homes, the setbacks should be in harmony with adjacent structures. For larger structures such as apartments, a larger landscaped setback (approximately 25’ front and 20’ side) is recommended.

##### 4. Utilize a range of unit types and sizes rather than standardization

Because the amount of land available in the downtown is limited, it is desirable to encourage a range of harmonious styles of residences rather than a grouping of very similar styles.

##### 5. Suburban design elements such as frequent curb cuts for driveways should be avoided.

For single-family homes with 50'+ frontage, direct road access is allowed, but garages should be oriented away from or set back from the street. In areas with smaller homes or attached units, alleyway or side street access is preferred to reduce curb cuts, prioritize pedestrians, and minimize vehicle dominance.

##### 6. No privacy fences or chain link fences in front yards

will be permitted, but historic-style picket fences, low brick or stone walls, metal pickets (“wrought-iron”) or combination masonry/metal picket fences will be permitted. Small, wellkept front yards are the hallmark of an attractive, stabile residential community. The combination of front porches and front yards invites neighborly interaction and creates an attractive image of the community. PVC or prefabricated wooden fencing is not permitted.

##### 7. Parking for larger structures shall be located in the rear (preferred) or the side of the buildings

Apartments and condominium complexes should have parking areas located to the rear if possible, or to the side. Parking lots must be screened from the street and from adjacent residential properties, well-lit for safety, and accessed from the street as specified in the guidelines for Downtown Commercial.

##### 8. Uses not specified

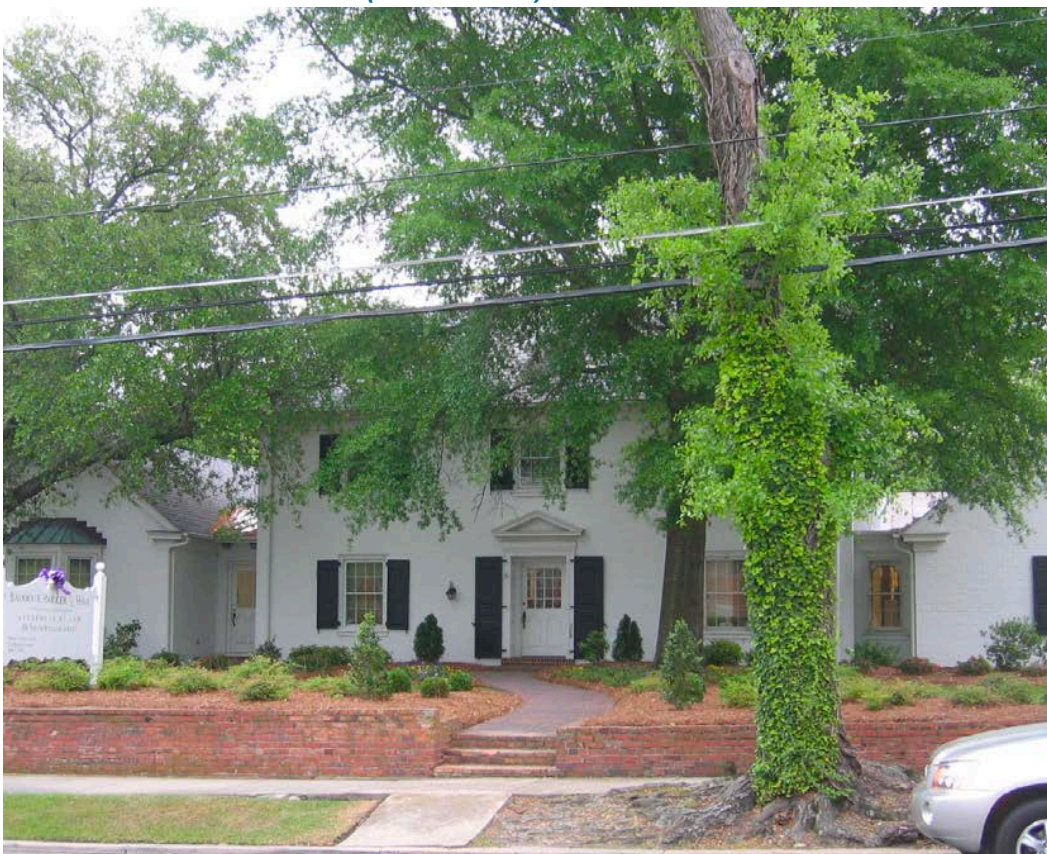
It is important to understand that the residential design guidelines refer to the design of the buildings, not necessarily their use. For instance, many of the structures on William Street between Walnut and Pine Streets are residential in form, but commercial in use. As long as the guidelines are met, uses other than residential are not prohibited by these guidelines.



This attractive street in Southport, NC illustrates common design elements such as porch details and setbacks, yet each building is unique. Also note that there are no driveways off the primary streets.



This attractive residential structure has been converted for use as lawyers' offices. Such conversions are not prohibited in the guidelines as long as the site and architectural guidelines are met (see #8). Note also the brick retaining wall in the front (see # 6)



Continuity of sidewalks in residential areas encourages walking and neighbor interaction. Although driveways are present along this sidewalk, note how they are de-emphasized by continuing the sidewalk through them

# GUIDELINES FOR BUILDING REHABILITATION

## Section 5.0

### RESIDENTIAL ARCHITECTURAL GUIDELINES

#### Section 5.4

#### Residential District Defined

The ultimate goal of these guidelines is to create a true sense of “neighborhood”. This can be achieved through the use of traditionally inspired forms and details that most people are familiar and comfortable with. Reproduction of traditional house designs is not required for new structures, and contemporary interpretations of traditional elements are allowed with review and approval. It is important to understand the factors that allow a residential area to be comfortable and pleasant. A key factor to remember is that the pedestrian should be more important than the automobile.

This is not meant to suggest that modern conveniences are discouraged: Quite the contrary, cars and other creature comforts are ingrained parts of our everyday lives. The guidelines are meant to reduce the emphasis many new houses place on garages and driveways and return the emphasis to the people that inhabit a given home. An added benefit of this philosophy is that removing the vehicle-related elements from front yards removes barriers that discourage interaction between neighbors.



Although these three adjacent houses in New Bern are different styles, they have many common elements that make them harmonize, such as materials, proportion, front porches and setbacks. Baldwin Park, FL

### RESIDENTIAL DISTRICT SITE GUIDELINES

#### Section 5.5

#### 1.Placement of Structures

New infill structures should harmonize with adjacent homes. For multiple new builds, vary setbacks slightly. Encourage detached, smaller accessory buildings. Set back attached garages from the house front. Prefer side/rear-facing garage doors or alley access. If street-facing, paint garage doors to match the house and consider recessed appearance with overhanging roofs.

#### 2.Materials - Recommended materials include:

- Sliding Materials**

  - Wood siding or approved high-quality modern equivalent, such as fiber-cement siding or Hardy Plank.
  - Wood or vinyl shingles
  - Vinyl siding, with appropriately scaled trim
  - Brick in approved range of colors
  - Smooth textured stucco (either traditional cement-based or modern synthetic systems) for foundations only.

**Trim or accent materials**

  - Wood
  - Wood composite trim
  - Vinyl (proper proportions are critical)
  - Fabricated millwork (Fiberglass or structural foam)
  - Cast or wrought iron

**Glazing Materials**

  - Clear glass, glass block
  - Textured, stained or faceted glass accent windows, portions of windows, or sidelights.
- Roofing Materials**

  - Standing-seam metal
  - Composition shingles (including basic 3-tab types).
  - Membrane roofing (built-up roofing, single-ply roofing, etc.; only for low-sloped roof areas).
  - Slate or synthetic slate
  - Wood shingles (must comply with fire-resistant requirements of building code).

**Prohibited materials include:**

  - “Mirrored” or opaque glass
  - Colored glass (except as specified above).
  - Wood shakes (wood shingles are allowed, shakes are prohibited because of poor fire-resistance)
  - Clay tile roofing
  - Metal shingles that imitate clay tiles or wood shingles
  - Heavily textured stucco
  - Panel siding such as “T1-11” siding
  - Imitation stone texturing (formstone)
  - Sheet metal awnings or canopies
  - Backlit canopies or awnings
  - Plastic awnings

#### 3.Building Scale and Proportion

Windows should generally be taller than they are wide, and organized into regularly spaced patterns within the wall surface. Large glazed areas should be composed of several window units, not plate glass “picture windows”. The use of porches or porticoes on the front of residential structures can help to provide a transition from a large building to the pedestrian scale. New residential structures should be designed to generally relate in size and height with surrounding residences. Consistency in the scale of the structures on particular street is extremely important to reinforce a sense of community.

The proportion of trim and details has a very large impact on the character of a house or townhouse. For instance, on most traditional homes with sidings other than brick, the trim around the sides and tops of windows and doors (casing) is usually a flat board four to five inches in width, sometimes embellished with additional trim at the outer edge. Most new windows and doors come with an attached “brick moulding,” a trim that is approximately two inches wide. The wider trim shall be used for all new structures unless they are constructed with masonry or stucco (for basements) as the exterior material. Most window manufacturers will supply the wider casings or will provide elongated sills that allow for their installation on-site. Consideration of other trim elements should include study of how similar installations were made on older buildings of similar type in the region. Many manufacturers now make a wide variety of residential millwork from synthetic materials. Many of these are excellent substitutes, but care must be taken in selecting items whose proportions are compatible with the design of a given residence. Corner boards and window casings should be a minimum of 3 1/2” wide, unless brick is used.



This close-up of a house in Baldwin Park, FL demonstrates attention to details. Note the repetition of small glass panes in the door and window, wide trim boards on the windows, and the authentic openwork brick on the foundation.

# GUIDELINES FOR BUILDING REHABILITATION

## Section 5.0

### RESIDENTIAL ARCHITECTURAL GUIDELINES

#### Section 5.5 Continued

#### 4. Residential District Defined

The various components used in the composition of a building design greatly affect the success of a design and its compatibility with its context. The following descriptions provide guidance for various components used in traditional residential structures:

- **Building foundations**

Building foundations shall be constructed with brick or stucco as the exposed finish material. Exposed concrete block is not permitted. Consider the use of pier-type foundations for porches in lieu of wall-type foundations. All residences should be constructed on either a crawl space or elevated slab so that foundation walls are visible (approximately 2’ minimum). Slab-on-grade construction is permitted for accessory structures only.

- **Exterior Entrances and Porches**

Central Florida's traditional homes emphasize the main entrance, reflecting regional architecture and climate adaptations. Entrances often feature millwork surrounds, transoms, sidelights, and decorative panels. Many homes have porticos or full-width porches, which should be at least six feet deep for functionality.

Primary entrances require carefully detailed trim with weather-resistant features to withstand the humid environment. Wooden porch railings are designed to shed water, preventing deterioration common in poorly constructed modern homes.

Typical features include raised floors, central hallways for ventilation, large windows with shutters, and metal roofs to manage heat and light. These elements serve both aesthetic and practical purposes, addressing Central Florida's climate challenges while preserving the region's architectural heritage.

- **Windows**

The most typical type of window found in traditional residential buildings in this region is double-hung sash. These windows are taller than they are wide, and have a horizontal rail that divides the upper half from the lower. Other window types, such as awning, casement or even fixed sash, can be used in a traditionally-inspired residence.

For new construction within the Master Plan area but outside the Historic District, if windows with muntins (divided lights) are desired, the divisions shall be either “true divided light” construction or permanent exterior grilles. Interior grilles alone or grilles set between the panes of double glazing are not acceptable.

Windows may be constructed of wood or wood clad in vinyl or prefinished metal. All-vinyl windows may be allowed, but will require specific approval from the reviewing authority. Window casings should follow the information presented in the Building Scale and Proportion section.

- **Doors**

Residential doors are now available in a multitude of configurations and materials. Careful selection of door types avoids such mistakes as installing an elaborate “Victorian” door on a simple cottage structure. Modern alternatives such as steel or fiberglass doors are acceptable alternatives to wooden doors. See examples on previous page. Flat panel doors are not allowed.

Garage doors should be simple panel designs, with glazing limited to the top row of panels. Features such as “fanlight” glazing are discouraged, as it is not desirable to call attention to garage doors. Again, garage doors should not face the primary street if at all possible.

- **Shutters**

Shutters can provide emphasis to window openings and can introduce elements of color to a building facade. However, there are some basic requirements for shutters to be appropriately installed. The size and shape of shutters should correspond to the size and shape of the window opening. Shutters can be mounted to operate, or if mounted in a fixed position, should be placed immediately adjacent to the window jamb. Wood and synthetic millwork are acceptable materials for shutters.

- **Equipment and Technology**

Mechanical equipment should be located to the side or rear of buildings if ground-mounted equipment is used. Ground mounted equipment shall be screened. Television antennae, satellite dishes and similar equipment should be as small as feasible and located so as not to be visible from the street.

#### 5. Accessory Structures

Structures such as detached garages, storage sheds and workshops shall comply with applicable zoning ordinances in terms of building location. They should be designed to complement the primary residence. Prefabricated structures are not prohibited, but the design and materials of such structures must be compatible with the primary structure. “Barn” shaped and prefabricated metal accessory buildings are not permitted.



The Eustis historic porches and doorways shown above illustrate the importance of the main entry in traditional homes. Even if there is no porch, as in the bottom photo, the front door is still given importance through the use of trim elements.



Downtown Orlando historic home with archways



Central Florida's historic stucco houses feature Spanish Colonial Revival style with arches. Key elements: smooth stucco walls, arched doors/windows, red tile roofs, wrought iron details, courtyards, and asymmetrical facades. These homes blend Spanish, Mediterranean, and Moorish influences, creating unique Florida vernacular architecture.

## 6.0 GUIDELINES FOR COMMERCIAL CORRIDORS

- *Commercial Corridor District Defined*
- *Commercial Corridor District Site Design Guidelines*
- *Commercial Corridor District Architectural Guidelines*
- *Architectural Guidelines for Large Buildings*
- *Architectural Guidelines for Small Buildings*

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 6.0

### COMMERCIAL CORRIDOR DISTRICT DEFINED

#### Section 6.1

Magnolia Avenue and Bay Street in downtown Eustis, Florida, are vital commercial corridors shaping the city's character and economy. These areas feature diverse building types and uses, contributing to urban vibrancy. Design guidelines aim to create a unified, attractive streetscape reinforcing a cohesive city image. While primarily vehicular routes, there's emphasis on pedestrian-friendly features, especially downtown. Continuous sidewalks are required for safe pedestrian and cyclist passage, enhancing walkability and street life.

The streetscape design balances needs of vehicles, pedestrians, and businesses, incorporating consistent landscaping, lighting, and signage. As gateways to downtown, building designs complement the city's character while accommodating various commercial activities, maintaining an ordered and attractive appearance that enhances downtown Eustis's appeal.



Bay Street at Magnolia Avenue (Looking North)



McDonald Avenue at Eustis Street (Looking South)

### ALLOWED USES

#### Section 6.2

As is typical of this type of street, there is a wide range of existing and possible future building types, including large office/commercial buildings such as banks, fast food restaurants, service businesses, gas stations, strip commercial centers, churches, city buildings, and the occasional single family house.



Artist Impression - Continuous Waterfront Promenade and Lakewalk



Artist Impression - Rail Trail Corridor at Magnolia Avenue



Artist rendering of reconfigured Ferran Park Parking Lot as flexible market and parking lot

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 6.0

### COMMERCIAL CORRIDOR DISTRICT SITE DESIGN GUIDELINES

#### Section 6.3

##### 1. Building setbacks

For most uses should be from 5-15’ minimum and may be more depending on the size and use of the proposed building, and also depending on the space available on the site. If the use is a commercial center or single large building, a landscaped setback of 20-30’ is required. If one bay of parking is permitted (see next section) in the front of the building, an appropriate setback for parking and screening would be about 80’.

##### 2. Off-street parking.

Locate to sides/rear when possible. Large buildings: single front bay allowed with screening. All front parking screened. Access from front/side/rear. Encourage shared parking. Small properties: 30-36" screening; larger properties: taller fences/combinations, max 36" (except trees). Remove/screen existing front parking. Screen/landscape side parking. No setbacks for shared parking. 5' setback from property lines; 10' near residential. Approved lighting for security.

##### 3. Service areas

Service areas must be screened from public view, including loading areas, trash receptacles, mechanical equipment and dumpsters. In high-density areas, dumpsters should be consolidated to serve several businesses. Enclosures near buildings should be of similar materials, and must be high enough to completely block views from street level. Enclosures further from buildings should be of approved masonry or wood fencing. See page 13 for example.

##### 4. Storage areas

Areas used to store vehicles, equipment, or materials must be screened with a masonry wall, hedge or fence with landscaping of sufficient height and density to block views from street level. Screening with chain link in any form is unacceptable.

##### 5. Pedestrian access

There must be direct pedestrian access from public sidewalks to buildings. In large parking areas, design consideration should be given to the provision of crosswalks, sidewalks, and other elements to ensure pedestrian safety.

##### 6. Rear entries

Attractive rear entries to businesses are encouraged. For large buildings with parking in the rear, the rear entrance may be the main entrance, but a floorthrough lobby to the front is recommended.

##### 7. Driveways

Wherever possible, driveways should be consolidated within a property or combined to provide access to two or more adjacent properties. Driveways from the main thoroughfares are limited to one if the frontage is less than 100’, or two if more than 100’; three will be permitted only by exception. Driveway width should not exceed 30’ for two-way traffic, 20’ for one way traffic. Driveways should not exceed one per 100’ of frontage on any side except where there is frontage on one side only, when two driveways will be permitted.

##### 8. “Drive-Through” businesses

Should be designed with drive-in structures on the side or rear of the building. Businesses that provide drive-through service as part of their services (e.g. restaurants, banks and pharmacies) are allowed, but drive-through windows for all businesses should be located to the rear of the buildings or to the side with screening. Drive-through windows are not allowed between the building and the street. Access and egress should be configured to minimize disruption of pedestrian movement.

##### 10. Signage

Signage guidelines for this area vary by use. For commercial properties, shared signage and parking are recommended. "System" signs with double supports and uniform individual signs are preferred. Larger or set-back businesses should use ground-mounted monument or pylon-mounted signs, with scale varying by business size. Monument signs are recommended due to future street tree plans. Owners should be encouraged to replace non-conforming signs, which must be removed upon change in ownership or property use.

##### 11. Fencing and screening materials.

**Recommended fencing and screening materials:**

- Brick
- Split face block finished with stone or masonry caps and/or bands
- Double staggered row of approved hedge material
- Landscaped beds acting as screens with approval and appropriate ongoing maintenance
- Metal pickets in dark colors with or without masonry piers or foundation walls (for perimeter and parking areas only, not storage areas). If used to screen parking, landscaping materials 30-36" high should be planted in front of or behind the fence to screen the lower portion of parked vehicles
- Approved wooden privacy fencing (in the rear of properties only)
- Poured concrete or light stucco finish block
- Prefabricated wooden fencing may be used only with review and approval on the side and rear of properties to screen parking from adjacent uses.

**Prohibited screening and fencing materials:**

- Chain link (except temporary installations at construction sites or where not visible from the street)
- Split rail, stockade, wood picket or other suburban/rural styles of fencing
- Unfinished concrete block

##### 12. Equipment and Technology

Mechanical equipment should be located on the roof or at the rear of buildings if ground-mounted equipment is used. Careful selection of rooftop equipment locations will allow the roof parapet, roof, or roof forms to serve as an effective screen. Many companies utilize satellite dishes for business purposes. Television antennae, satellite dishes and similar equipment shall be as small as feasible and located so as not to be visible from the street.



These rear entries in Washington, NC are useful if most of the parking is located in the rear of buildings, as the guidelines recommend.



The “pylon” type sign shown above presents a clean and attractive image of the business and the area. Florence, SC.



Although this sign combines several businesses, it still presents an unattractive image because of differing styles, poor spacing of signs, and the two differentsize areas for movable lettering right next to each other. Florence, SC.



The parking lot shown above screens cars with a wide landscaped setback. This is an excellend alternative to walls and hedges were space allows.



This attractively landscaped office building includes a plaza in the front and parking in the rear. Washington, DC.

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 6.0

### ARCHITECTURAL GUIDELINES FOR LARGE BUILDINGS

Section 6.4

#### Residential District Defined

The Eustis Central Business District (CBD) must accommodate both large and small buildings, as well as larger developments and individual proprietors. To unify the area's appearance, guidelines for materials and site design are crucial, with separate sets for large uses and smaller "infill" developments. Magnolia Avenue and Bay Street, the main corridors of the CBD, already feature a mix of building scales. Larger structures are predominantly found along parts of these streets, while smaller commercial uses, including local shops and services, are interspersed throughout. Near the intersection of these key streets, the plan encourages the gradual replacement of auto-oriented businesses with traditional retail buildings that enhance the downtown character. For properties in prime locations, such as those near the Magnolia Avenue and Bay Street intersection, any change in ownership should require adherence to the CBD section of the guidelines. This ensures that future development maintains and enhances the district's cohesive urban fabric and pedestrian-friendly environment.

#### Architectural Guidelines for Large Buildings

##### 1.Placement of Structures

New structures should comply with Site Design Guidelines. Principal facades should face adjacent streets with prominent entrances. Encourage active plazas and gathering spaces with flexible paved areas, fountains, seating, artwork, and shade. These spaces should be appropriately sized and programmed. Medium-density housing may have private open space in interior courtyards, not necessarily visible from the street. Visible setbacks with landscaping may be fenced with metal picket fences up to 30-36" high.

##### 2.Massing and Height

Building heights should comply with zoning ordinances. When designing taller structures near new 2-3 story buildings or architecturally significant ones, use setbacks and articulation to prevent overwhelming shorter buildings. Ensure design allows light to reach surrounding buildings and streets. This guideline doesn't apply to new buildings next to structures unlikely to remain long-term.

##### 3.Materials - Recommended materials include:

<b>Construction Materials:</b> <ul style="list-style-type: none"><li>• Brick in approved range of colors ( • for the predominant exterior material). Brick used in new construction shall not be painted</li><li>• Stone, cast stone or architectural concrete</li><li>• Wood on upper stories of residential structures</li></ul> <b>Trim or accent materials</b> <ul style="list-style-type: none"><li>• Split-face concrete masonry</li><li>• Ceramic tile in appropriate colors</li><li>• Metal framing (aluminum glass framing systems or curtain wall systems)</li><li>• Cast or wrought iron</li><li>• Smooth textured stucco</li><li>• Sheet metal (parapet wall copings, etc.)</li><li>• Fabricated millwork</li></ul> <b>Glazing Materials</b> <ul style="list-style-type: none"><li>• Clear glass, glass block</li><li>• Textured, stained or faceted glass accent windows, portions of windows, or sidelights.</li></ul>	<b>Roofing Materials</b> <ul style="list-style-type: none"><li>• Standing-seam metal roofs</li><li>• Slate or synthetic slate</li><li>• Composition shingles (Standard 3-tab shingles and shingles that are imitations of wood shingles or shakes are inappropriate. Heavy weight shingles such as “Slateline” by GAF, “Grand Manor” or “Carriage House” by Certainteed are appropriate.)</li></ul> <b>Prohibited materials include:</b> <ul style="list-style-type: none"><li>• “Mirrored” or opaque glass</li><li>• Colored glass</li><li>• Wood shakes or shingles</li><li>• Heavily textured stucco</li><li>• Imitation stone texturing (formstone)</li><li>• Clapboard sidings, whether wood or alternative materials, except in the upper stories of medium-density housing</li><li>• Sheet metal awnings or canopies</li><li>• Backlit canopies or awnings</li><li>• Plastic awnings</li></ul>
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##### 4.Building Scale and Proportion

Ground floors of office/residential/mixed-use buildings should be visually distinct from upper stories to enhance pedestrian experience. This can be achieved through different materials, added detail, or varied colors/patterns. For significant commercial or office buildings, modern designs are acceptable, but quality traditional materials are required to create a transition between downtown and outlying areas. Transparent entrances or lobby areas are crucial for welcoming the public.

##### 5.Building Elements

The various components used in the composition of a building design greatly affect the success of a design and its compatibility with its context. The following descriptions provide guidance for various components that may be used in office/mixed use buildings:

- **Building foundations**

Walls should be primarily masonry. Introduce scale and interest with contrasting materials or horizontal bands. Emphasize openings using contrasting lintels and sills or different masonry coursing. Upper stories of medium-density residential buildings can use wood and siding for a more domestic feel.
- **Windows**

Windows may be constructed of wood, wood clad in vinyl or prefinished metal, or from aluminum or other appropriate metals.
- **Shutters**

Shutters should not be used on commercial or other large scale buildings, except medium density residential with review and approval.
- **Roofs/Cornices**

Large-scale commercial buildings, being visually prominent, should use roof forms to transition against the sky. Sloping roofs (gabled or hipped) are preferred. Cornices offer opportunities for detail and contrast. Flat roofs may be allowed with approval, though not encouraged.
- **Equipment and Technology**

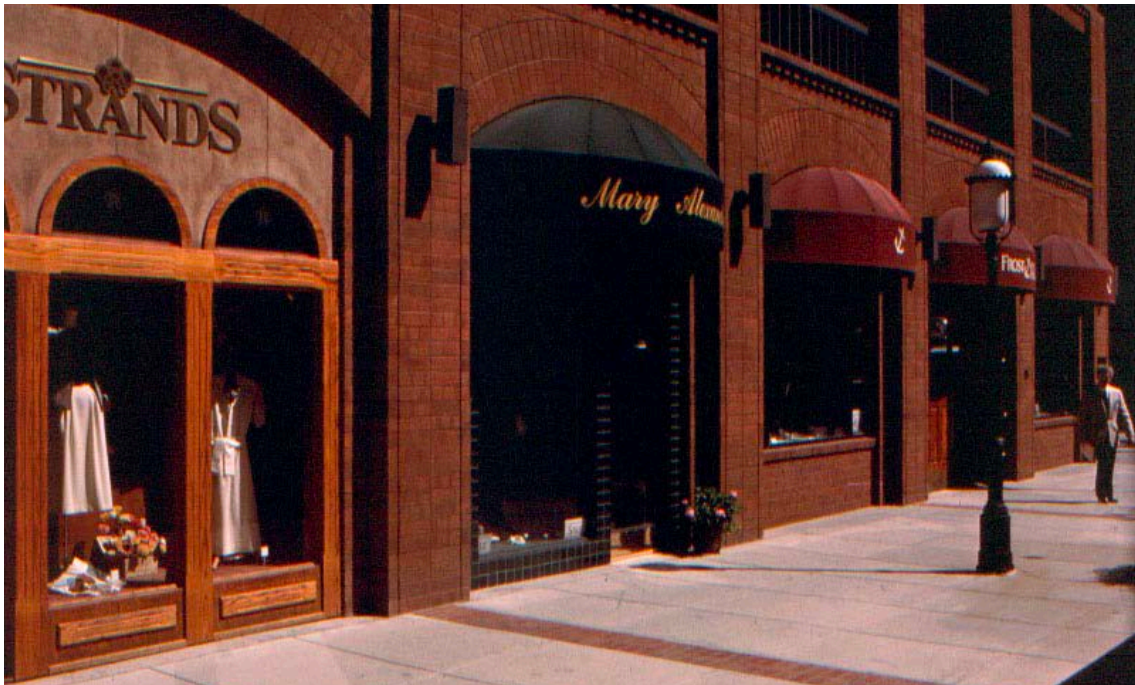
Modern building systems enhance life and work but can create visual clutter. Mechanical equipment should be placed at building rears in screened enclosures. Satellite dishes, TV antennas, and similar equipment should be small and hidden from street view.



If retail is included in a new building, transparency on the ground level helps to welcome people into the building. Towson, MD



(Above) An example of medium-density housing set back from the ROW. Winter Park, FL



This modern commercial building in Denver, Colorado still retains the traditional proportions and materials that add character to a building and a district.



A good example of wood townhouses with traditional details. Townhouses of this scale would be considered small buildings in the commercial corridor district.



Articulation of doorways and windows.

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 6.0

### ARCHITECTURAL GUIDELINES FOR SMALL BUILDINGS

#### Section 6.5

The architecture of new smaller structures within the Commercial Corridor District should form a graceful transition from the historic downtown to the outlying areas. New construction should be “traditional” in character, while reflecting the time period of its creation. Consistency in the use of materials and details can help define a sense of place.

#### Architectural Guidelines for Small Buildings

##### 1.Placement of Structures

New or replacement smaller structures should be set back from the right of way about 5-15’, with the intermediate space used for wider sidewalks or landscaping with walks to the door, depending on the use. The goal in this district should still be to continue the pattern of building facades enclosing the pedestrian space, but the space will be a little more generous and green in this zone. Buildings should be constructed to fill at least one third to one half the building frontage, with parking to the side or preferably the rear. There should always be direct access to the building from the sidewalk.

##### 2.Massing and Height

New smaller-scale buildings shall be one-three stories, or more with review and approval of the reviewing agencies. If the buildings are to be used for retail, the guidelines in the CBD district regarding percentage of transparency will apply (at least 60% on the first level, at least 26% on the upper levels). If the buildings are to be used for office or residential, only 26% on each level is required, but welcoming entries and lobbies with a larger percentage of transparency are encouraged.

##### 3.Articulation of Facades within the block

Traditional downtowns derive visual strength and pedestrian comfort from human-scale buildings. Consider rhythm and symmetry of entire blocks, articulating even large buildings into smaller elements. For blocks with multiple small buildings, align scale, mass, and setback with existing structures to create a harmonious streetscape. (See image #1, page 21 of New York Ave, Winter Park, FL)

##### 4.Materials - Recommended materials include:

- Construction Materials:**

  - Brick in approved range of colors ( • for the predominant exterior material). Brick used in new construction shall not be painted.
  - Stone, cast stone or architectural concrete
  - Split-face block used in conjunction with brick
  - Light stucco finish
  - Wood for smaller-scale townhouses and condos

**Trim or accent materials**

  - Ceramic tile in appropriate colors
  - Wood (e.g. accent material such as panelled storefronts and entries)
  - Metal framing (Note: aluminum storefront framing systems must be designed with careful consideration of proper proportions of the framing members in order to be successful)
  - Cast or wrought iron
  - Sheet metal (parapet wall copings, etc.)
  - Fabricated millwork (Fiberglass or structural foam)

**Glazing Materials**

  - Clear glass, block
  - Textured, faceted or stained glass as an accent.

**Awnings**

  - Fabric awnings
- Roofing Materials**

  - Standing-seam metal roofs
  - Slate or synthetic slate
  - Composition shingles (Standard 3-tab shingles and shingles that are imitations of wood shingles or shakes are inappropriate. Heavy weight shingles such as “Slateline” by GAF, “Grand Manor” or “Carriage House” by Certaineed are appropriate.)
  - Membrane roofing at low-slope areas (built-up roofing, single-ply roofing, etc.)

**Prohibited materials include:**

  - “Mirrored” or opaque glass
  - Colored glass
  - Wood shakes or shingles
  - Heavily textured stucco
  - Imitation stone texturing (formstone)
  - Clapboard sidings, whether wood or alternative materials, except in the upper stories of medium-density housing
  - Sheet metal awnings or canopies
  - Backlit canopies or awnings
  - Plastic awnings

##### 5.Building Scale and Proportion

In general, building facades should have windows that have a vertical emphasis, that is, windows that are taller than they are wide (except storefronts, see below). Windows should be organized into regularly spaced patterns within the wall surface.

##### 6.Building Elements

The various components used in the composition of a building design greatly affect the success of a design and its compatibility with its context. The following descriptions provide guidance for various components used in retail/commercial structures.

- **Windows**  
Acceptable windows: single/double-hung, taller than wide. Contemporary styles in various materials allowed. Casement/ fixed windows possible with review. True divided light or permanent exterior grilles required; interior/between-pane grilles unacceptable. Materials: wood, vinyl-clad, prefinished metal, aluminum, or other suitable options.
- **Storefronts/Building Fronts on Retail Buildings Only**  
Commercial/retail first floors: 60%+ glazed openings for displays, natural light. Awnings add shade and color. Storefront metal framing minimum 2" wide. Suitable for retail, restaurants, offices.
- **Doors**  
Commercial building doors must follow traditional commercial formats. Residential-style doors (paneled or "crossbuck") are inappropriate. For aluminum storefront doors, only "wide stile" types are suitable; avoid "narrow" or "medium" stile. Townhouses follow residential guidelines, while apartments/condos adhere to large or small building guidelines based on size and scale.
- **Equipment and Technology**  
Modern building systems enhance life and work but can create visual clutter. Mechanical equipment should be placed at building rears in screened enclosures. Satellite dishes, TV antennas, and similar equipment should be small and hidden from street view.
- **Shutters**  
Shutters can enhance upper stories and add color to facades. They should match window size and shape. Install operable shutters or fixed ones adjacent to window jambs. Acceptable materials include wood and synthetic millwork.
- **Awnings**  
Awnings add color and texture to commercial environments. Fabric awnings are recommended, with agreed-upon color ranges. Backlit or plastic awnings are not allowed.

##### 6.Equipment and Technology

Mechanical equipment should be located on the roof or at the rear of buildings if ground-mounted equipment is used. Careful selection of rooftop equipment locations will allow the roof parapet, roof, or roof forms to serve as an effective screen. Many buildings require satellite dishes for business or entertainment purposes. Television antennae, satellite dishes and similar equipment should be as small as feasible and located so as not to be visible from the street.



These “before” and “after” views of the same building illustrate that it is possible for even a plain single-story building to be attractive and to be articulated to break up a long facade



Eustis's Central Business District, centered on Magnolia Avenue and Bay Street, is revitalizing key areas to address unplanned growth and decline. Projects target the former hospital site, waterfront, and major intersections, aiming to boost commercial viability and appeal.

## 7.0 GUIDELINES FOR STREETScape DESIGN

- *Pedestrian-Priority/Retail Streets*
- *Image/Vehicular Streets*
- *Residential Streetscapes*
- *Streetscape Furniture and Lighting*

# GUIDELINES FOR STREETScape DESIGN

## Section 7.0



### Revitalizing Eustis's Central Business District: A Pedestrian-Centric Approach

Our vision for downtown Eustis focuses on three main goals:

- Family-Friendly Waterfront:** Transform Lake Eustis shoreline into an inviting space with parks, playgrounds, and recreational areas for all ages
- Enhanced Connectivity and Pedestrian Experience:** Improve walkability by widening sidewalks, adding bike lanes, and implementing traffic-calming measures. Install street furniture, public art, and improve lighting and signage.
- Future Gateways to Downtown:** Develop welcoming entry points showcasing Eustis's character and integrate public transit options for better connectivity.

#### Additional focus areas include:

- Affordable housing through mixed-use developments
- Re-imagining commercial landscape to encourage local businesses
- Preserving historic buildings while adapting to modern needs
- Upgrading government buildings for better public services

This pedestrian-centric approach aims to create a safe, livable downtown where people can work, shop, dine, and enjoy cultural activities, enhancing quality of life and attracting visitors and businesses.

## PEDESTRIAN PRIORITY/RETAIL STREETS

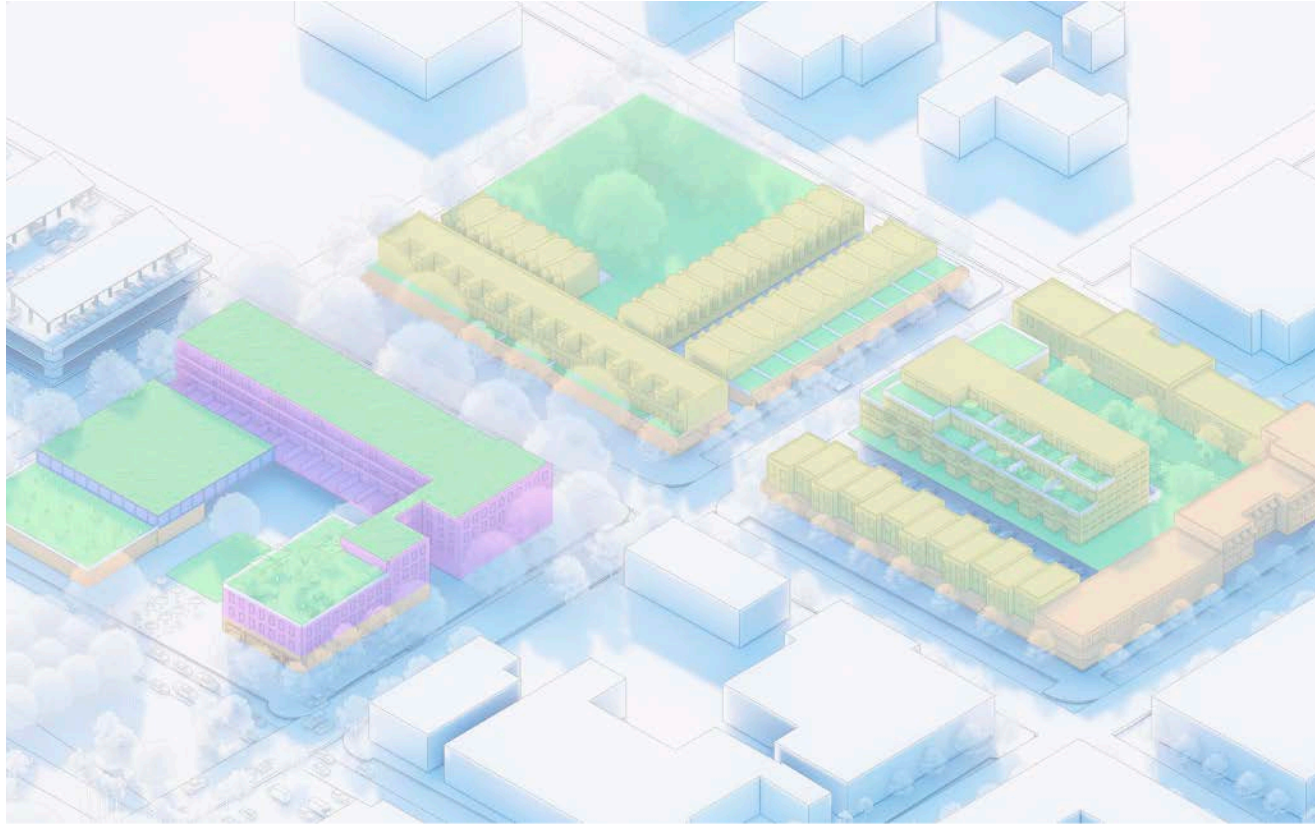
### Section 7.1

Eustis's Central Business District aims to present the highest image of the community to visitors and residents alike. Our plan prioritizes pedestrian comfort and safety, focusing on creating enjoyable spaces for foot traffic. The following streets will receive the highest level of "finish" with enhanced features:

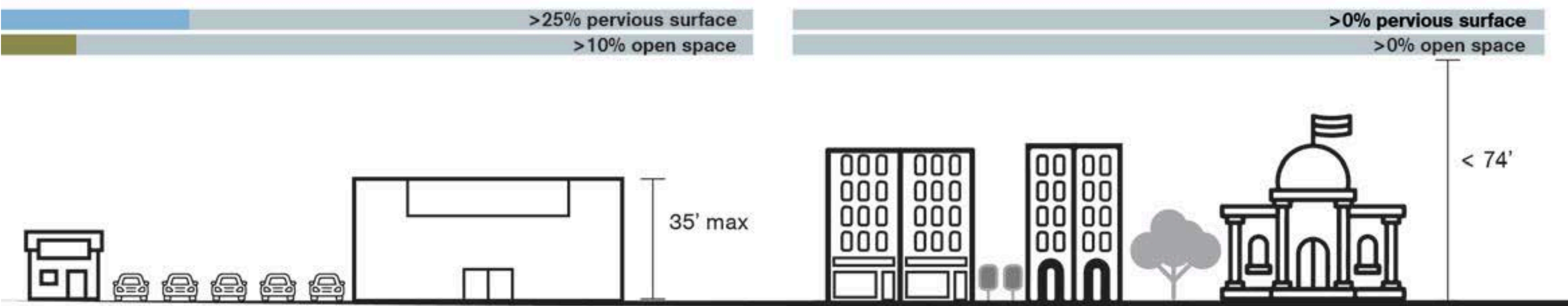
- Magnolia Avenue and Bay Street:** As main thoroughfares, these streets will feature wider sidewalks, well-marked crosswalks, and pedestrian-friendly amenities.
- Eustis Street and McDonald Avenue:** These streets will connect key areas and include improved lighting, benches, and trash receptacles.
- Orange Avenue:** As a gateway to downtown, it will receive special attention to create a welcoming entrance.
- Ferran Park area:** The waterfront will be transformed with an expanded walk, community pavilion, and green spaces.

Additionally, we'll focus on creating public space anchors like the Eustis Street Shared Plaza and the Lake Eustis Green Porch. The Rail Trail and various nature walks will further enhance connectivity and recreational opportunities.

By implementing these improvements, we aim to create a vibrant, walkable downtown that serves as a destination for both residents and visitors, supporting local businesses and community life.



**Eustis CBD Revitalization Plan: Transforming downtown with mixed-use development, including hotel, retail, and residential spaces. Features rooftop terraces, courtyards, shared streets, and a "Fountain Green" for enhanced urban living and visitor experiences. Balances modern amenities with community-focused design.**



*CBD- Central Business District: This land use designation has a mix of commercial, public/institutional and residential uses that is desired in the downtown areas.*

# GUIDELINES FOR STREETSCAPE DESIGN

## Section 7.0

### IMAGE/VEHICULAR STREETS

#### Section 7.2

*Here's a combined and streamlined list of the proposed improvements for Eustis's Central Business District:*

The proposed improvements for Eustis's Central Business District focus on creating a more pedestrian-friendly and aesthetically pleasing urban environment. By widening sidewalks, implementing enhanced safety features, and improving streetscape elements, the plan aims to transform the downtown area into a vibrant and walkable space. These changes will not only benefit pedestrians but also create a more inviting atmosphere for businesses and residents alike.

The improvements also address the needs of various transportation modes, including cyclists and motorists. By integrating bike lanes, providing ample parking, and implementing traffic calming measures, the plan seeks to create a balanced and functional urban environment. Additionally, the focus on appropriate tree planting and adherence to site design guidelines demonstrates a commitment to long-term sustainability and visual appeal.

*Key features of the proposed improvements include:*

- *Widened sidewalks with tree strips for enhanced pedestrian comfort*
- *Enhanced safety features such as raised crosswalks and traffic calming measures*
- *Improved streetscape elements including parklets, public art, and clear wayfinding signage*
- *Integrated bike lanes and ample parking for cyclists*
- *Center medians with trees for wider streets*
- *Upgraded street lighting for improved visibility and aesthetics*
- *Adherence to site design guidelines for a cohesive urban landscape*

### RESIDENTIAL STREETSCAPES

#### Section 7.3

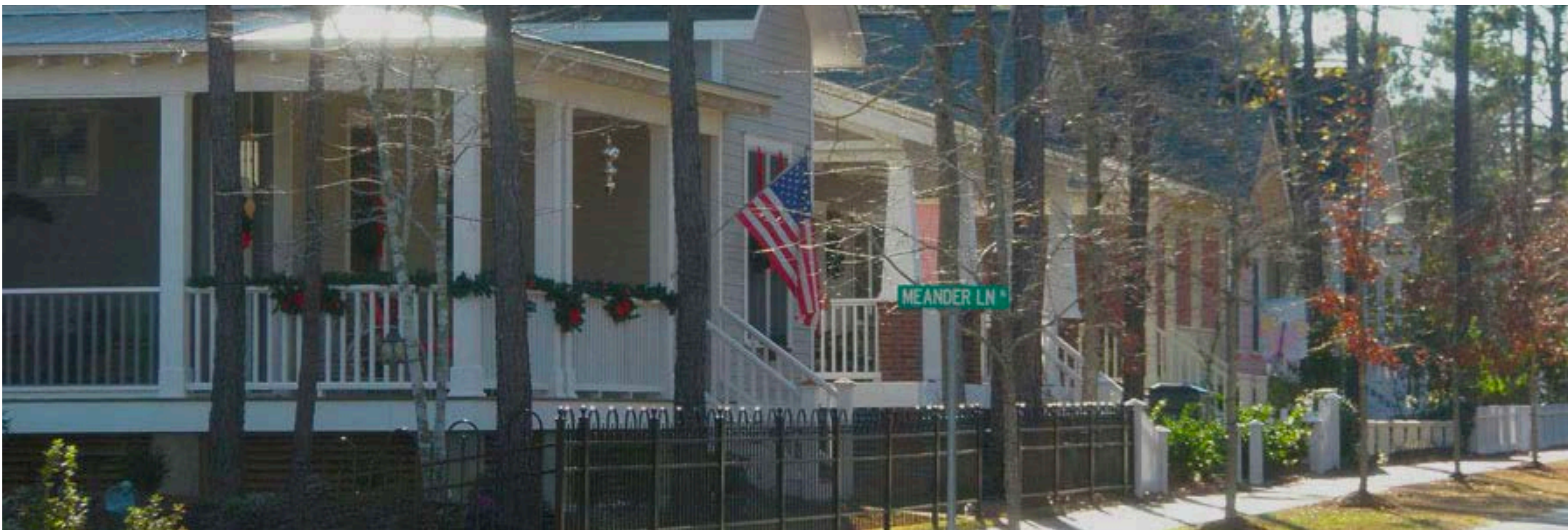
In Eustis's Central Business District, most residential streets have a 60' right of way. For narrower streets, parking on one side should be removed rather than reducing tree strips or sidewalks. Parking can also be removed near intersections to accommodate left-turn lanes if necessary.

*Recommended improvements for Eustis's residential streets include:*

- *Maintaining tree strips and sidewalks*
- *Adjusting parking based on street width and intersection needs*
- *Implementing a consistent cross-section design for residential streetscapes*



Celebration, FL showcases a modern streetscape with wide, tree-lined sidewalks, pedestrian-friendly crossings, and mixed-use buildings. The design incorporates ample seating, decorative lighting, and bike lanes, creating a vibrant, walkable environment that balances aesthetics with functionality.



These two photos show appropriate character for residential streetscapes. The top photo is the historic community of Southport, NC, and the bottom photo is the New Urbanist community of Woodsong in Shallotte, NC. Both show a narrow concrete walk and a tree strip next to the road. Sidewalk width should vary according to expected pedestrian traffic.



Alexandria, VA's residential streets feature charming brick sidewalks lined with mature trees. Historic row houses and Federal-style homes create a picturesque backdrop. Gas lamps, wrought-iron fences, and blooming gardens add to the quaint, colonial atmosphere that defines this historic city's neighborhoods.

# GUIDELINES FOR STREETSCAPE DESIGN

## Section 7.0

### STREETSCAPE FURNITURE AND LIGHTING

Section 7.4

#### Here's a combined and streamlined list of the proposed improvements for Eustis's Central Business District:

The design process for Eustis's Central Business District should include detailed plans for various streetscape types, even if implementation occurs in phases. This comprehensive approach will guide the City's development over the coming years.

Eustis's existing pedestrian lights are attractive and should be considered as the standard for downtown. Enhancements like banner arms, street name signs, or gateway arches that complement these lights can be added. The City will need to decide on a consistent color scheme for all fixtures.

Other elements, such as trash receptacles and benches, should be reevaluated. Paving materials and colors need careful consideration, especially as sidewalks are widened. If brick paving is preferred, using multiple colors can create visual richness. Colored concrete pavers are not recommended due to fading. For retail streetscapes, unit paving set in sand is advisable over monolithic surfaces, allowing for easier utility work without visible damage.

Tree grates should be updated to meet accessibility standards, with narrower openings similar to those in front of City Hall. For seating, cast iron benches with wood slats or all-tropical wood benches are recommended for durability and comfort in Central Florida's climate.

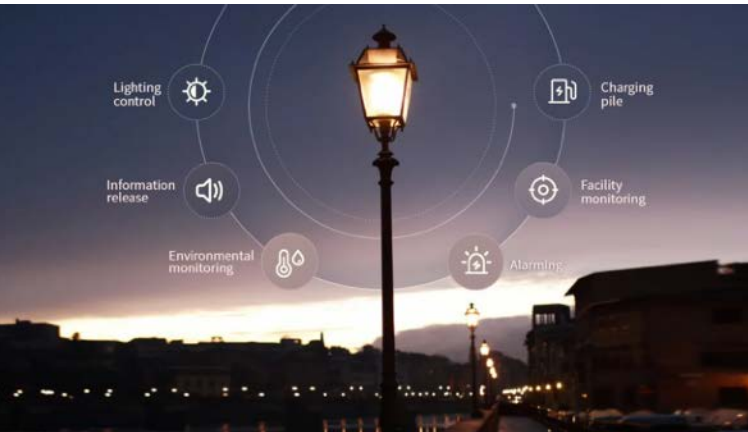
Investing in high-quality furniture and lighting, while initially more expensive, will prove cost-effective in the long term due to increased longevity. This approach aligns with Eustis's goal of creating a lasting, attractive downtown environment that reflects the character of Central Florida.

#### Illuminating the Way: Innovative Lamp Posts for Urban Brilliance

By carefully selecting and combining these different types of street lamps, you can create a lighting system that enhances safety, efficiency, and the overall aesthetic of your city while meeting specific needs of different areas within the urban landscape.



**LED street lights** are ideal: energy-efficient, long-lasting (50,000+ hours), high output. 100-200W, 4000-5000K color temp. Choose IP65-rated for weather resistance. Smart controls offer additional energy savings.



**Smart street lighting with IoT:** Energy-efficient LED lights connected to sensors and networks, enabling remote control, adaptive brightness, and data collection for improved urban management and sustainability.



**Street Lighting Vintage:** Nostalgic lamp posts with ornate designs, casting warm, golden light. These charming fixtures evoke bygone eras, adding character and ambiance to urban landscapes.

- Energy Efficiency:** LED lights are the most energy-efficient option, followed by HPS and LPS.
- Lifespan and Maintenance:** LED lights offer the longest lifespan and lowest maintenance requirements.
- Light Quality:** Consider color rendering and color temperature. LED and metal halide lights provide better color rendering than HPS or LPS.
- Smart Capabilities:** LED lights can be integrated with smart control systems for adaptive lighting and energy savings.
- Environmental Impact:** LED lights have a lower environmental impact due to energy efficiency and lack of hazardous materials.

- Installation Methods:**
  - Arm-mounted lights for sidewalks and pathways
  - Pillar lights for roadways and parking lots
  - Wall-mounted lights for accent lighting
  - Embedded lights for decorative or safety purposes
- Control Methods:**
  - Self-controlled lights with timers or photocells
  - Centrally controlled lights for dimming and scheduling
- Aesthetics:** Consider the design of the lamp posts and fixtures to complement the city's architecture and character.

#### Accessible Urban Greenery: ADA-Compliant Tree Gates for Inclusive Cityscapes

Eustis, FL's Central Business District needs narrower tree grates for accessibility. City Hall showcases the new design. Cast iron benches with wood or all-tropical wood are preferred for durability and comfort. Investing in high-quality street furniture and lighting is cost-effective long-term, offering longevity and savings.



**Flush gates** Level tree surrounds that blend seamlessly with sidewalks. These ADA-compliant designs feature small openings, preventing wheel or cane entrapment while allowing easy passage for all pedestrians.



**Segmo tree surround:** Modular, permeable system for urban trees. Interlocking segments adapt to growth, provide root aeration, and create a smooth, accessible surface. Ideal for sustainable streetscapes and tree health.



**Permeable Resin-Bound Surfaces:** Eco-friendly tree surrounds using porous materials. Allows water penetration, supports tree health, and provides a smooth, accessible surface. Ideal for urban settings, combining sustainability with ADA compliance.

- Eustis, FL Central Business District requires accessibility upgrades
- Narrower tree grates needed to improve walkability
- City Hall features new, ADA-compliant tree grate design
- Preferred bench materials:

- Cast iron with wood slats
- All-tropical wood
- Durable bench choices offer comfort and longevity
- High-quality street furniture and lighting recommended
- Long-term cost savings through investment in premium fixtures
- Focus on durability and sustainability in urban design choices

#### Sleek Seating Solutions: Modern Sidewalk Benches for Urban Comfort

Modern park benches blend form and function, offering comfortable seating while enhancing urban landscapes. These contemporary designs prioritize durability, aesthetics, and user experience.



**Smart bins:** IoT-connected waste containers with sensors for fill levels, temperature, and humidity. Real-time monitoring enables efficient collection. Some include compactors. Alert systems notify of fullness or hazards, optimizing urban waste management.



**Solar-Powered Compacting Bins:** Self-sufficient waste containers using solar energy to compact trash, increasing capacity up to 8x. Reduces collection frequency, lowering costs and emissions in urban areas.



**Minimalist Slab Benches:** Sleek urban seating with clean lines and simple shapes. Crafted from polished concrete or metal, these durable, low-maintenance benches embody modern design aesthetics in public spaces.



**Modular Seating Systems:** Versatile urban furniture with customizable layouts. Easily rearranged for various spaces or events. Often integrates planters or bike racks, maximizing functionality in public areas while adapting to changing needs.



**Smart Benches:** Solar-powered urban seating with device charging capabilities. Some offer Wi-Fi hotspots and feature environmental sensors or information displays, blending connectivity with sustainable public amenities.

- Sleek, minimalist designs with ergonomic shapes
- Sustainable materials (recycled plastics, FSC-certified wood)
- Smart features (charging ports, Wi-Fi)
- Modular and flexible arrangements
- Weather-resistant and low-maintenance· ADA-compliant accessibility
- Multifunctional (integrated planters, bike racks)
- Artistic elements doubling as public art
- Customizable colors to match urban aesthetics

## 8.0 SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

- *Purpose*
- *Sidewalk Dining-Outdoor Seating*
- *Outdoor Dining on Private Property*
- *Outdoor Display Guidelines*
- *Existing Conditions*
- *Routine Maintenance*
- *Certificate of Appropriateness Required*

# SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

## Section 8.0

### PURPOSE

#### Section 8.1

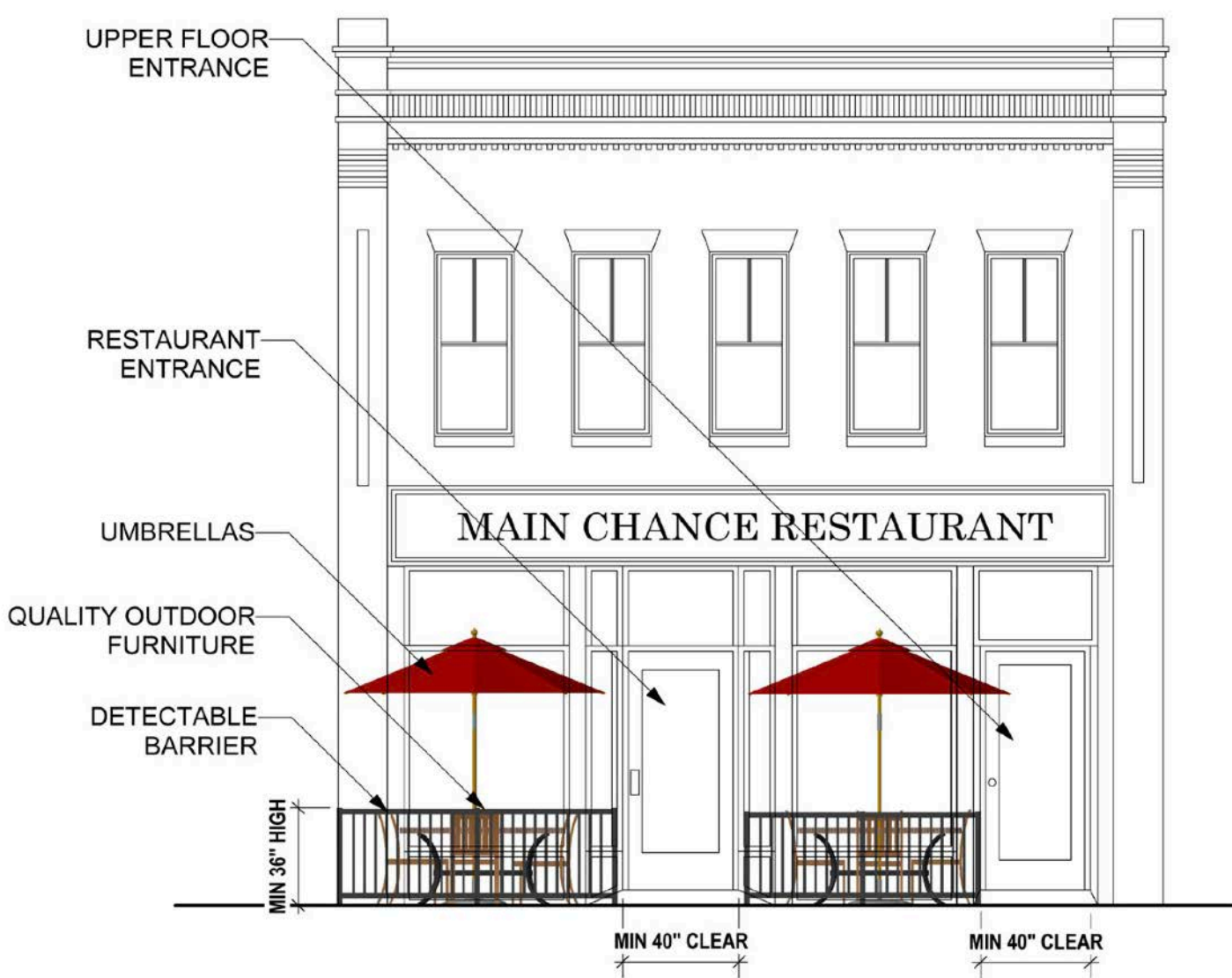
The purpose of these guidelines is to provide guidance for Restaurant owners or owners of Places of Entertainment (bars, etc.) who wish to offer sidewalk or outdoor dining or seating on public sidewalks. Sidewalk dining and/or seating (**Section 8.2**) is defined as dining or seating allowed on public sidewalks and alleys, while outdoor dining (**Section 8.3**) is defined as dining or seating allowed on private land including on setbacks from the street, sideyards, alleys and rear yards. Also included in this section are rules for store owners who wish to display merchandise on the street (**see Section 8.4**).

### SIDEWALK DINING-OUTDOOR SEATING

#### Section 8.2

*Store owners must obtain a yearly permit, must be mindful that they are using the public right of way, and must ensure that:*

- Pedestrian traffic flow and safety are not impeded and ADA(Americans with Disabilities) standards are met;
- The historic architectural context is honored and enhanced; and Outdoor areas are maintained to the highest standards at all times.

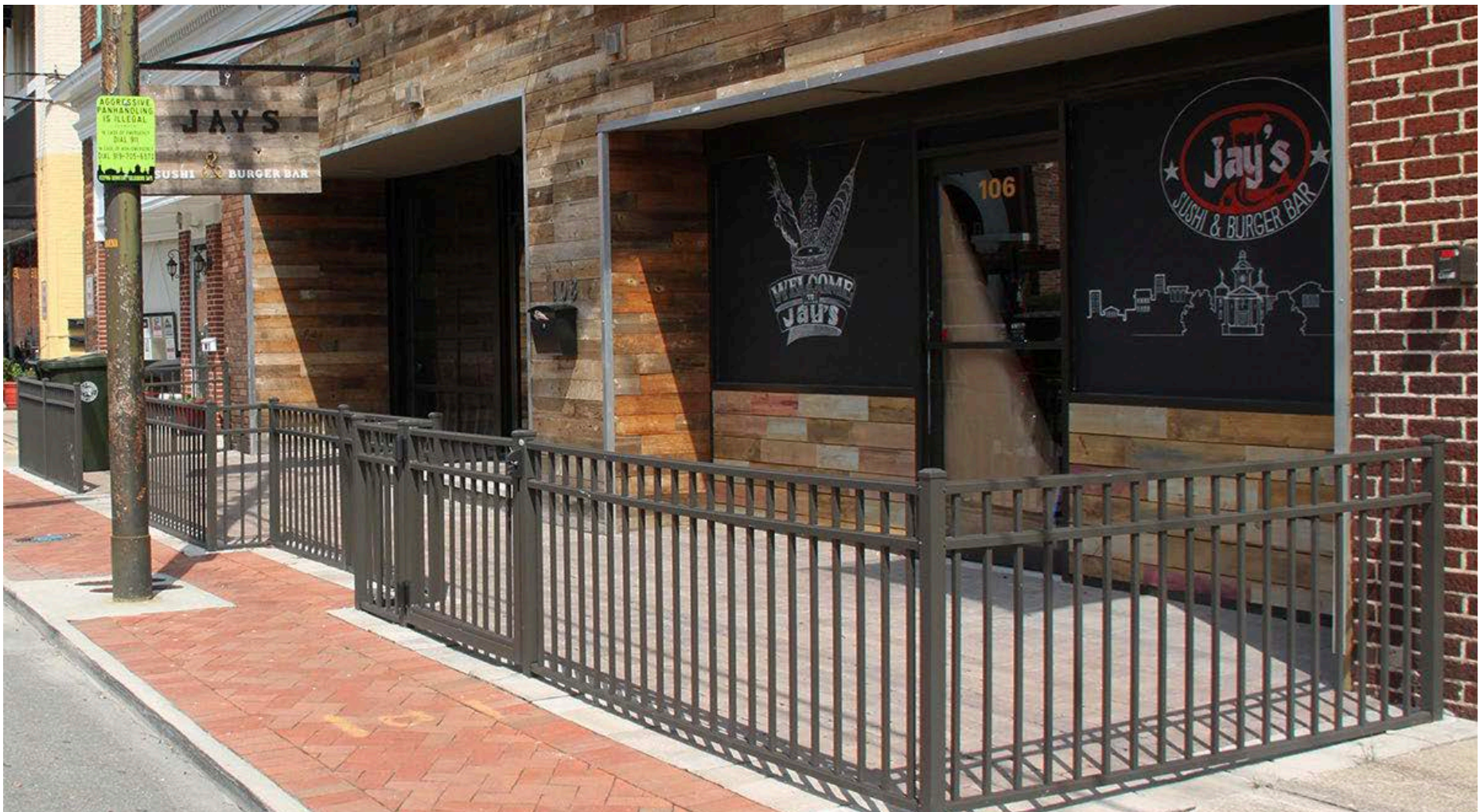
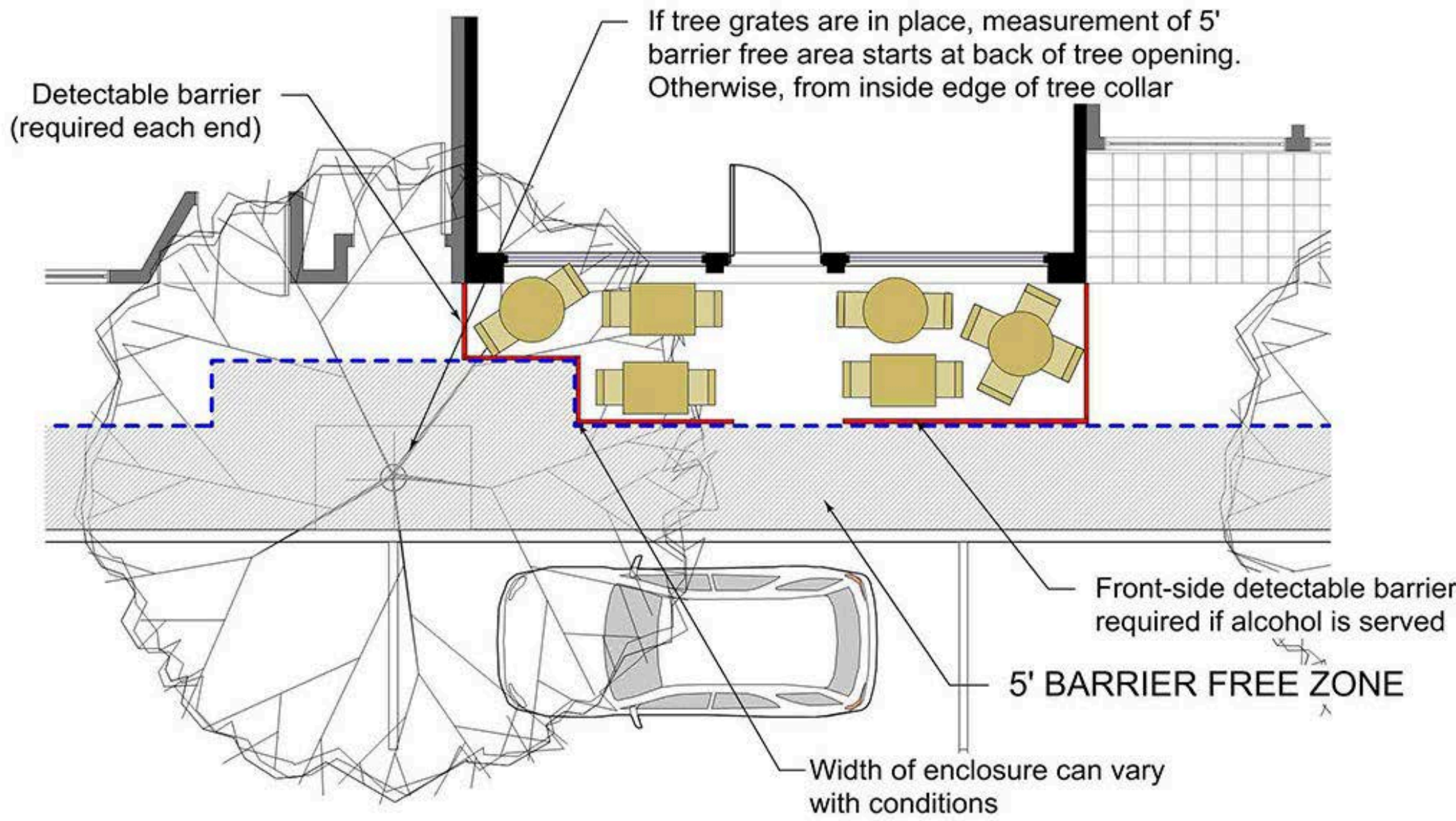


*This drawing illustrates a possible configuration of sidewalk dining. See other drawings for allowable dimensions. Note that all doorways must remain clear, with minimum 40" opening.*

### 1. Space Requirements

A 5'-wide zone from the back of the curb or from any fixtures (trees, lights, bike racks, etc.) must remain clear of obstructions at all times. If tree pits are not covered with tree grates, the measurement for pedestrian traffic flow starts from the inside edge of the tree curb closest to the buildings. Although a minimum 5'-wide corridor must remain clear for pedestrian traffic flow, the space available for outdoor dining or seating may move in and out around street fixtures. The remaining public right of way, plus whatever setbacks that the building offers, may be used for sidewalk dining.

#### For sidewalks 10' or narrower

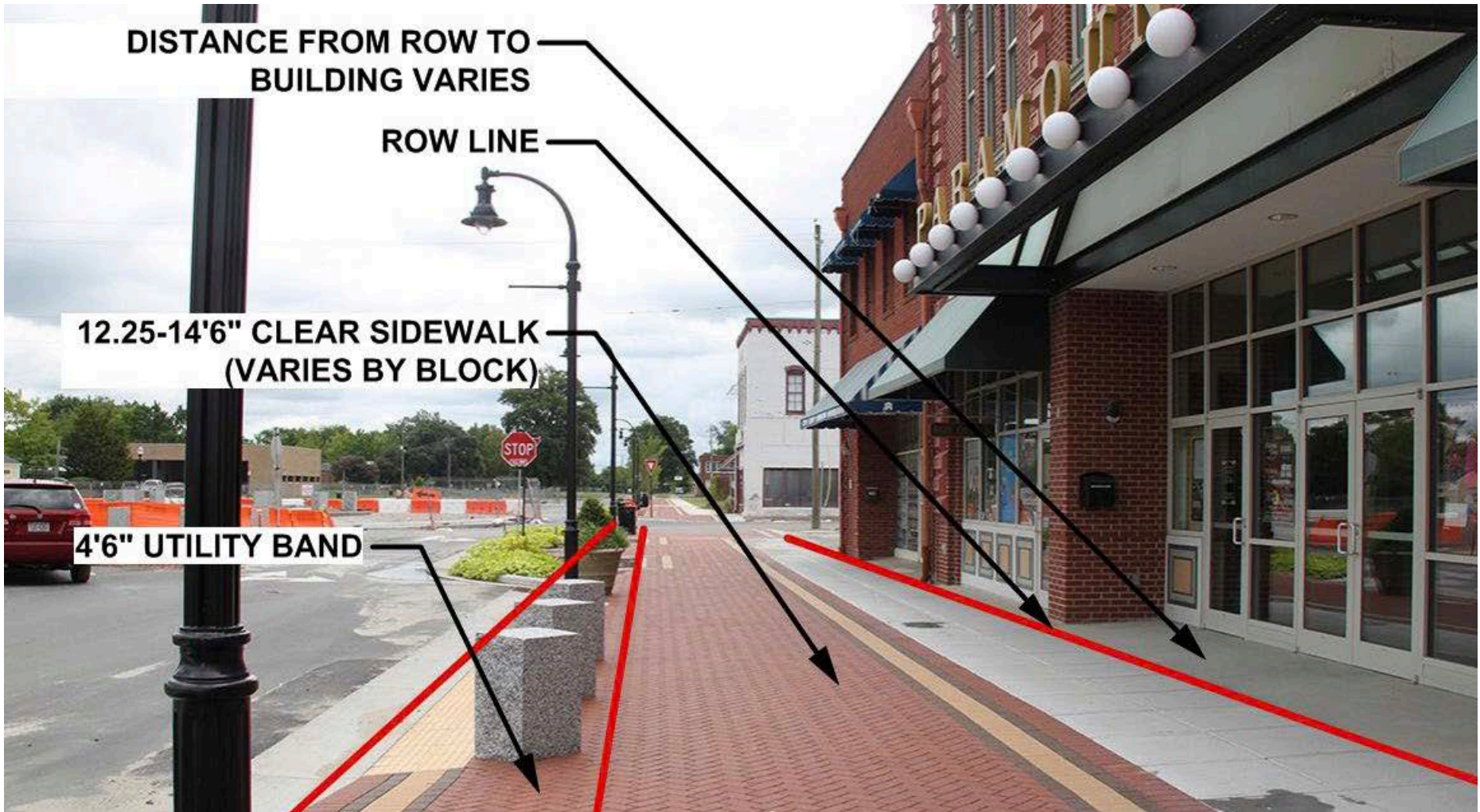
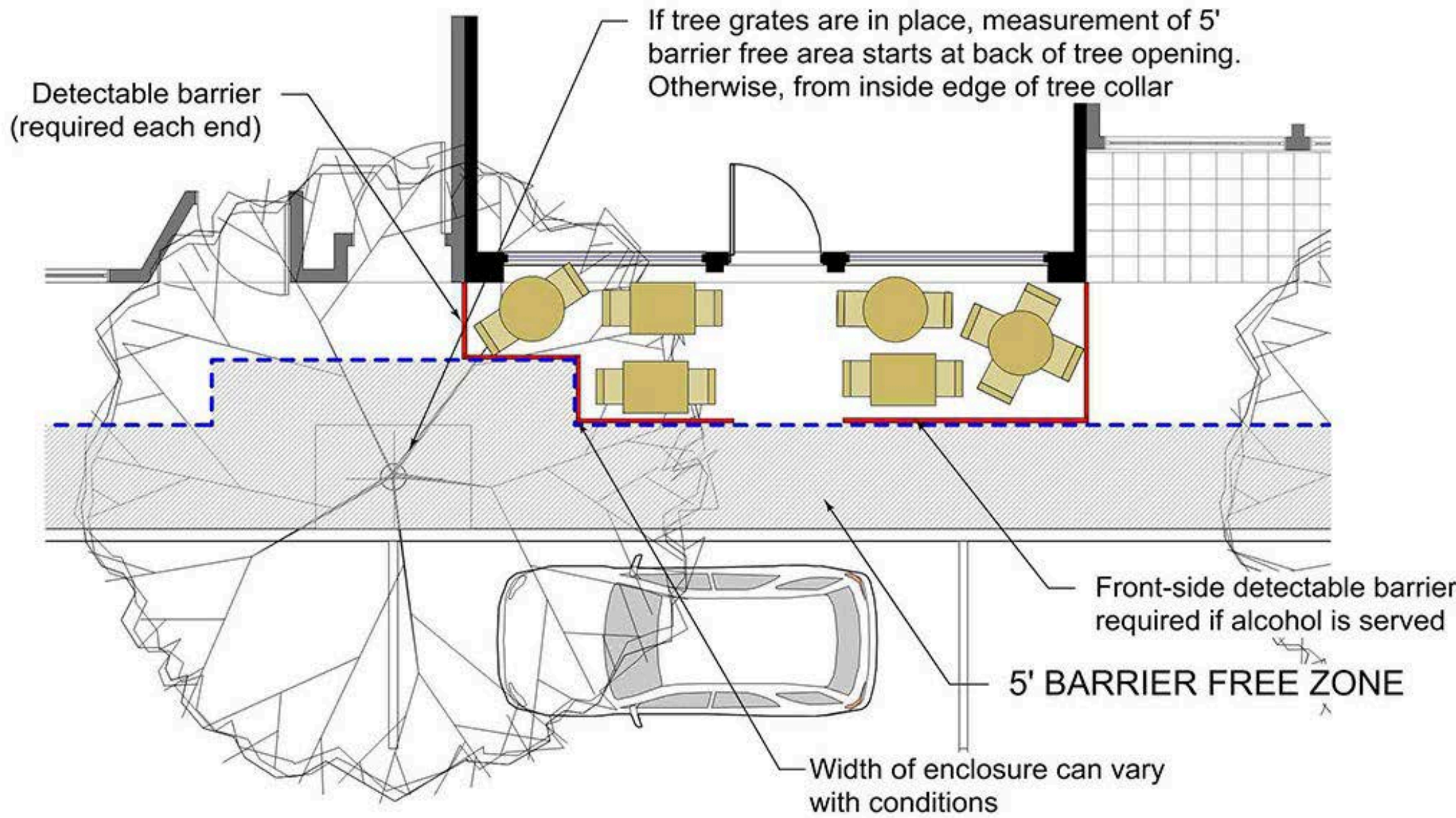


*This photograph shows how the dining enclosure moves around a light pole in order to maintain a minimum 5' clearance on the sidewalk.*



*Even on narrow sidewalks it is possible to fit a limited amount of sidewalk dining. Side barriers are always required. If alcohol is served there must also be front barriers.*

#### For sidewalks wider than 10'



*This photograph of Center Street near the Paramount illustrates the areas allocated for utilities, shows the space between utilities and the right of way (ROW) line, and also illustrates that some buildings have space behind the ROW line that can be used for sidewalk dining, but is not included in space calculations (i.e. additional space).*

# SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

## Section 8.0

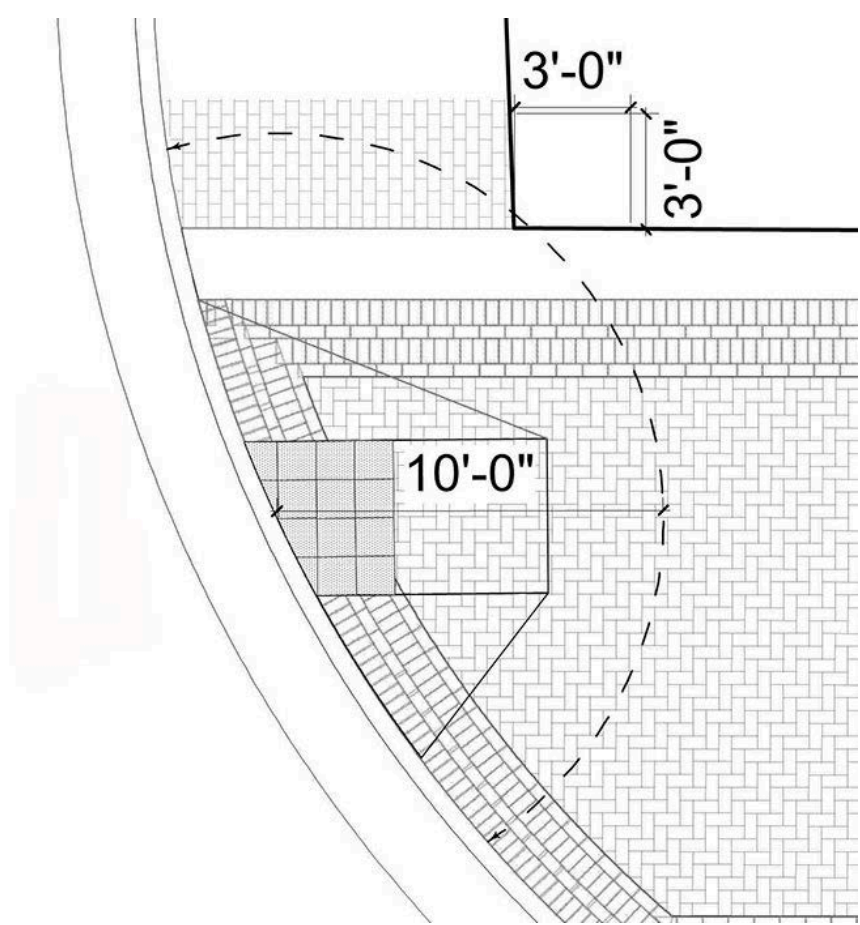
### SIDEWALK DINING-OUTDOOR SEATING

#### Section 8.2 Continued

In most cases, streets this narrow will only accommodate a single table and two, or perhaps three chairs within this space. The photo at left shows an example of sidewalk tables on narrow sidewalks.

#### Key features of the proposed improvements include:

- Widened sidewalks with tree strips for enhanced pedestrian comfort
- Enhanced safety features such as raised crosswalks and traffic calming measures
- Improved streetscape elements including parklets, public art, and clear wayfinding signage
- Integrated bike lanes and ample parking for cyclists
- Center medians with trees for wider streets
- Upgraded street lighting for improved visibility and aesthetics
- Adherence to site design guidelines for a cohesive urban landscape



This diagram shows the area around handicap ramps that must remain clear of obstructions. In addition, no obstructions should be placed closer than 3' to buildings on corners.



This metal dining enclosure on Ocean Drive, Miami Beach is enhanced with colorful hanging planters. The planters and plants must still fit within the allowable dimensions.

### 2.Barriers

New or replacement smaller structures should be set back from the right of way about 5-15', with the intermediate space used for wider sidewalks or landscaping with walks to the door, depending on the use. The goal in this district should still be to continue the pattern of building facades enclosing the pedestrian space, but the space will be a little more generous and green in this zone. Buildings should be constructed to fill at least one third to one half the building frontage, with parking to the side or preferably the rear. There should always be direct access to the building from the sidewalk.

#### Dimensions and placement requirements:

- Enclosures: Minimum 36" high
- Leading edge barriers: Required (perpendicular to sidewalk)
- Front edge barriers: Optional, unless alcohol served (required by NC law)
- Entry: One recommended, especially for alcohol-serving establishments
- Access openings: Minimum 40" wide, clear path to doorway
- Additional doors: Included in enclosure only by exception

#### Allowable materials and dimensions for enclosures are as follows:

- Enclosures: 50% open, 36-48" tall for visibility.
- Metal railings: On flat bases or attached to building/sidewalk (with approval).
- Wood: Painted/stained on metal bases; tropical woods required.
- Planters: Max 2'6" tall, must contain plants or be removed.
- Rope-connected planters: Up to 3' high (with approval).
- Canvas/fabric: Securely fastened to metal frames, wind-resistant.
- Other materials: Considered by exception with review.

#### Not permitted are:

- Plastic used as a material for any portion of any enclosure;
- Domed or raised metal bases over 6" in diameter (these are a tripping hazard) or concrete or wood bases, except planters;
- Rope enclosures less than 1' in diameter;
- Planters with narrow bases which can be easily tipped or that would be difficult to detect by the visually impaired.



This private courtyard dining area has been fitted with small overhead lights for nighttime dining.



This photo shows a wood fence with angled slats to allow less wind resistance. Tropical woods should be used to prevent warping and splintering.



The attractive wrought iron enclosure shown above looks as if it might be custom-made. The width of these sidewalks in Austin, TX allows enough room for planters in addition to the railings. Also note the small lights on the enclosure.

### 2.Furniture

Furniture for outdoor dining should be built for outdoor use and should be sufficiently sturdy to withstand reasonable variations of weather and wind. Stacking-type chairs are recommended for storage. Both chairs and tables should be compact to allow the greatest flexibility in seating options (square or round tables of no more than 30" are often used).

#### Furniture allowed for sidewalk dining:

- **Chairs:** Natural materials (wicker, rattan) or metal frames with natural/wood/plastic parts. Unified style, natural or dark colors. No white or fluorescent colors.
- **Tables:** Natural materials, metal, or resin wicker. Stone, wood, concrete, or resin tops. Natural or dark colors. Harmonious collection despite varied sizes/shapes.
- **Umbrellas:** Market-type, outdoor fabric, metal stands. Compact, preferably square. Plain colors harmonizing with facade/trim/awnings.
- **Lighting:** Various configurations allowed with approval. Building-affixed or overhead lighting preferred.
- Open flames (e.g., candles) not permitted
- New materials are often introduced to the trade. These will be considered by exception with review.

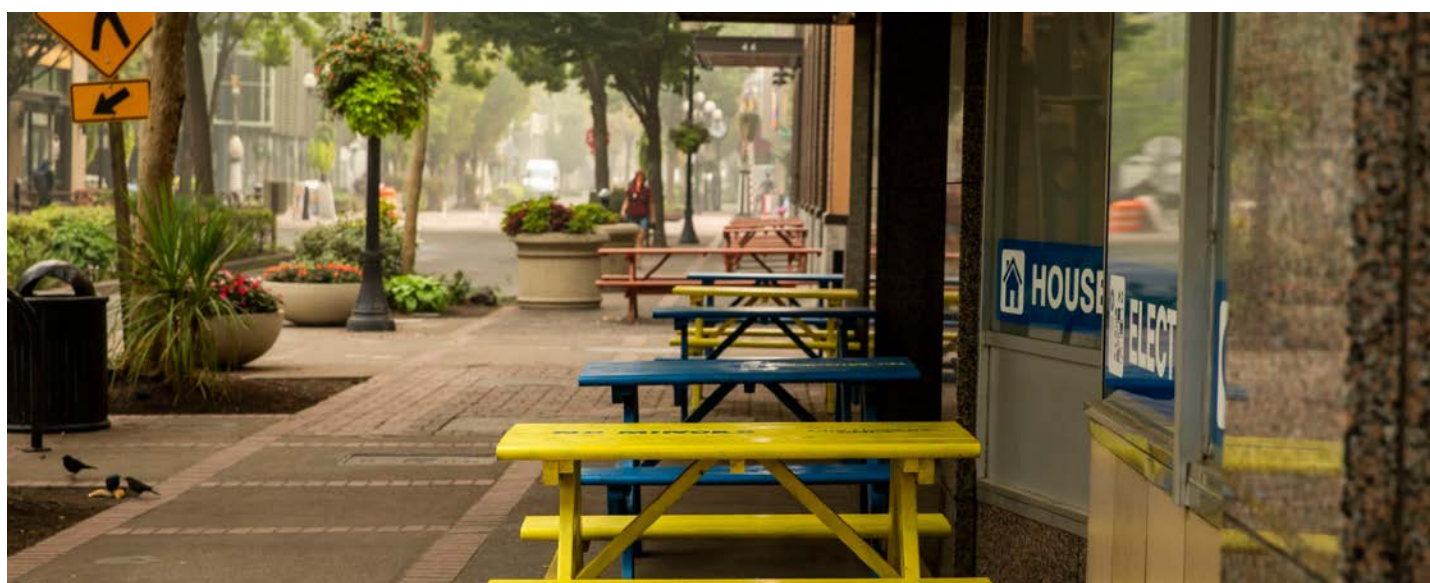
#### Furniture/fitings not allowed for sidewalk dining:

- Any furniture or accessories other than chairs and tables and a hostess stand (e.g. no warming tables, bus tables, etc.);
- No covering or decking allowed to cover the sidewalk;
- All-plastic molded chairs or tables ;
- White or fluorescent colors (except as accents);
- Picnic tables of any material or size;
- Commercial Logos (e.g. beer logos) or other writing on umbrellas.
- Logo for store is allowed, but will be deducted from allowable square feet of signs allowed for the building.

#### Ideal outdoor dining furniture:



#### NOT Ideal sidewalk dining furniture



# SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

## Section 8.0

### OUTDOOR DINING ON PRIVATE PROPERTY

#### Section 8.3

##### 1.Location, materials and fencing.

Outdoor dining on private property offers many opportunities to create unique and diverse dining experiences: walled garden settings with pergolas, sophisticated courtyards with couches and firepits, decks overlooking a downtown view. Because the possibilities will be shaped by the space available, these guidelines are fairly general and plans will be reviewed individually. While guidelines for outdoor dining on private property adjacent to and visible from the street are similar to those for sidewalk dining, there are more possibilities for outdoor dining located elsewhere such as on rooftops or upper floor terraces.

##### Eustis, FL - Central Business District Outdoor Dining Guidelines

- **Chairs:** Natural materials (wicker, rattan) or metal frames with natural/wood/plastic parts. Unified style, natural or dark colors. No white or fluorescent colors.
- **Tables:** Natural materials, metal, or resin wicker. Stone, wood, concrete, or resin tops. Natural or dark colors. Harmonious collection despite varied sizes/shapes.
- **Umbrellas:** Market-type, outdoor fabric, metal stands. Compact, preferably square. Plain colors harmonizing with facade/trim/awnings.
- **Lighting:** Various configurations allowed with approval. Building-affixed or overhead lighting preferred.
- Open flames (e.g., candles) not permitted
- New materials are often introduced to the trade. These will be considered by exception with review.



Wall garden outdoor garden



(concrete fenced) private outdoor dining, located in the back of restaurant



Example of private outdoor dining at a local restaurant in Winter Park, FL



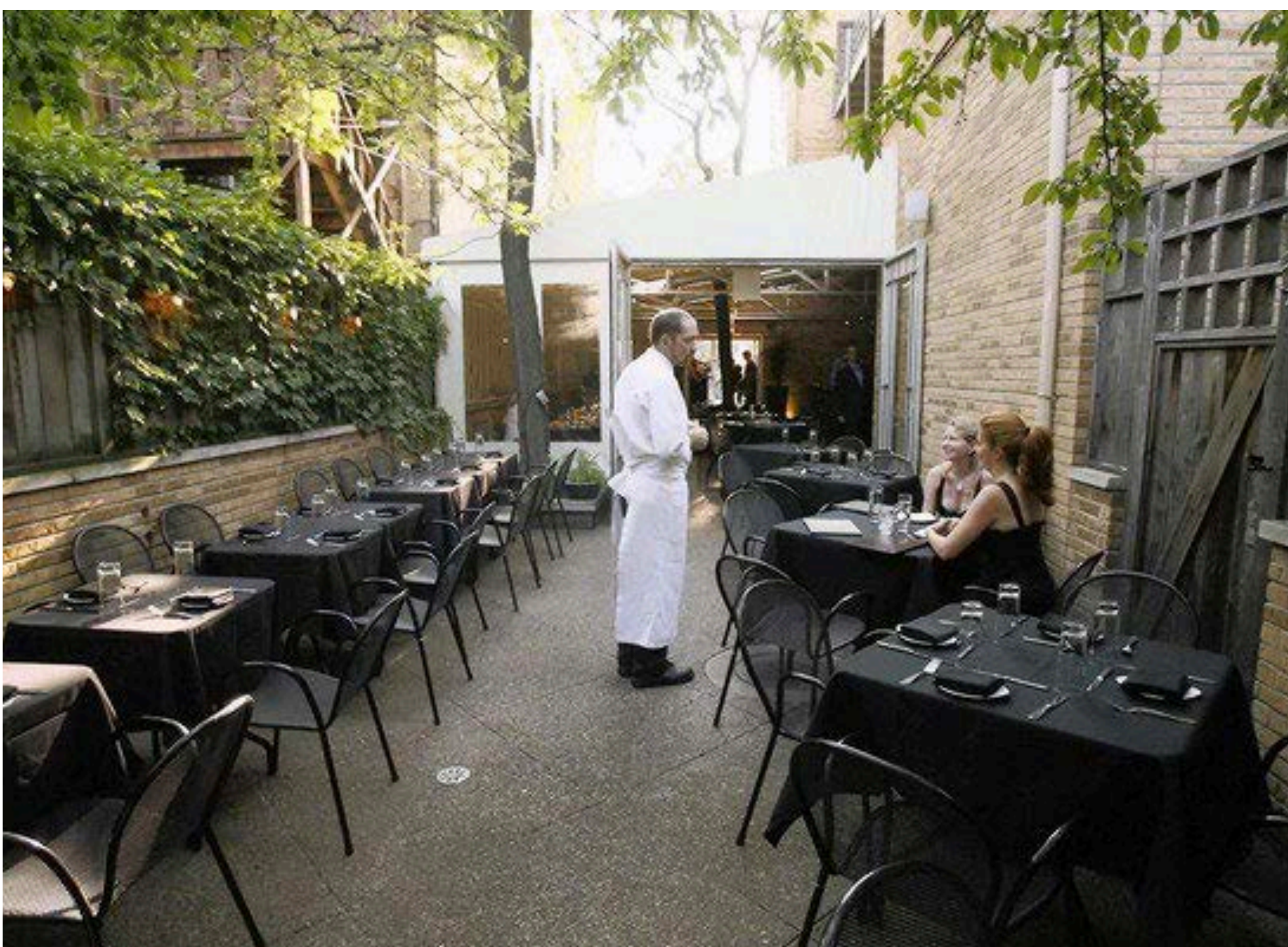
Patio enclosure bar/restaurant

##### 2.Furniture

In Eustis, Florida's Central Business District, outdoor dining areas offer diverse options for restaurant owners. Front setback areas adjacent to public rights-of-way must adhere to sidewalk dining standards for furniture and umbrellas. However, side and rear yards, decks, and rooftops enjoy more flexibility, allowing for picnic tables, branded umbrellas, service areas, hostess stations, and bars, subject to approval by the Historic District Commission and the City. To enhance the ambiance, garden structures, sculptures, fountains, fireplaces, and other outdoor elements may be incorporated into these dining spaces, adding charm to the Central Business District's culinary landscape.

##### Outdoor Dining Regulations Central Business District: Furniture and Decor Guidelines

- For private dining areas located in setbacks from the front of buildings next to the public right of way, the standards for furniture and umbrellas are the same as for sidewalk dining.
- For furniture in side and rear yards and on decks and rooftops, the requirements are more flexible, with picnic tables, umbrellas with logos, service areas, hostess stations and bars allowed as reviewed and approved by the Historic District Commission (HDC) and the City.
- Garden structures, sculpture, fountains, fireplaces and other outdoor elements may be appropriate in outdoor dining areas.



Some possible configurations of outdoor dining in areas not adjacent to the public sidewalk.

# SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

## Section 8.0

### OUTDOOR DISPLAY GUIDELINES

#### Section 8.4

Businesses may wish to use the public sidewalk for display, for signs alerting pedestrians to sales inside, for menus or events, for landscaping or perhaps to provide a bench to invite pedestrians to linger a while. The following guidelines are given to suggest appropriate use of outdoor space. The goal of these guidelines is to avoid a cluttered appearance on the sidewalks. Items for outdoor display are in two categories: **permanent** items such as benches and planters, and **temporary** items such as store goods and sandwich signs (see also Section 9: Sign Guidelines).

#### 1.Space Requirements

**For sidewalks 10’ wide or narrower:**

- 3’ from the face of the building (right of way line) will be allowed for display, temporary signage, landscaping, or benches.
- Display items and temporary signage (sandwich boards) placed in the street are allowed, but must be removed from the street at the close of business each day.
- Items such as benches and plants in planters are allowed, and may remain in place, but must meet quality standards for the city, and must be maintained (e.g. if plants in planters have died, the planter must be replanted or removed).
- Dried and artificial plant materials of good quality are allowed.

**For streets wider than 10’:**

- 5’ from the face of the building (right of way line) will be allowed for display, sandwich boards, landscaping, or benches.
- On Center Street, 5’ from the ROW line will be allowed for display, enclosure, sandwich boards, landscaping, or benches.
- Other requirements are as above for narrower sidewalks.



Mixture of permanent and tempoary street display signage. Business name (permanent) and display advertisement (temporary)



This outdoor display relates to the services offered,vprovides seasonal color, and invites pedestrians to "set a spell."



The attractive planters and plants maintained by thisvstore owner add richness to the streetscape.

#### 2.Display Items

In Eustis, Florida's Central Business District, outdoor dining areas offer diverse options for restaurant owners. Front setback areas adjacent to public rights-of-way must adhere to sidewalk dining standards for furniture and umbrellas. However, side and rear yards, decks, and rooftops enjoy more flexibility, allowing for picnic tables, branded umbrellas, service areas, hostess stations, and bars, subject to approval by the Historic District Commission and the City. To enhance the ambiance, garden structures, sculptures, fountains, fireplaces, and other outdoor elements may be incorporated into these dining spaces, adding charm to the Central Business District's culinary landscape.

**Allowed materials, permanent items:**

- All permanent items to be placed in the public right of way must be approved in advance. Planters must be architectural concrete, concrete, wood, commercial grade resin, metal, or terra-cotta.
- Benches must be iron and wood, all wood, architectural concrete, or all metal. Wood should be pressure treated or tropical for ease of maintenance.
- Plant materials do not require approval, but must be kept in good condition or removed, along with the planters. Dried or artificial plant materials of good quality are allowed.
- Other materials with review and approval.

**Materials not allowed, permanent items:**

- Plastic or consumer-grade wood or resin planters or benches.
- Fluorescent colors.

**Examples of items NOT ALLOWED**



Consumer grade plastic bench



Consumer grade resin planter

**A note about temporary display:**

In Eustis, Florida's Central Business District, outdoor dining areas offer diverse options for restaurant owners. Front setback areas adjacent to public rights-of-way must adhere to sidewalk dining standards for furniture and umbrellas. However, side and rear yards, decks, and rooftops enjoy more flexibility, allowing for picnic tables, branded umbrellas, service areas, hostess stations, and bars, subject to approval by the Historic District Commission and the City. To enhance the ambiance, garden structures, sculptures, fountains, fireplaces, and other outdoor elements may be incorporated into these dining spaces, adding charm to the Central Business District's culinary landscape.



Digital outdoor signage are not allowed in the storage district

### EXISTING CONDITIONS

#### Section 8.5

Please note that all existing barriers, furniture, sandwich boards and other items placed on the public right of way are grandfathered for 90 days, by which time the existing conforming materials must be permitted, or if non-conforming, must be removed.

# SIDEWALK & OUTDOOR DINING AND OUTDOOR DISPLAY

## Section 8.0

### ROUTINE MAINTENANCE

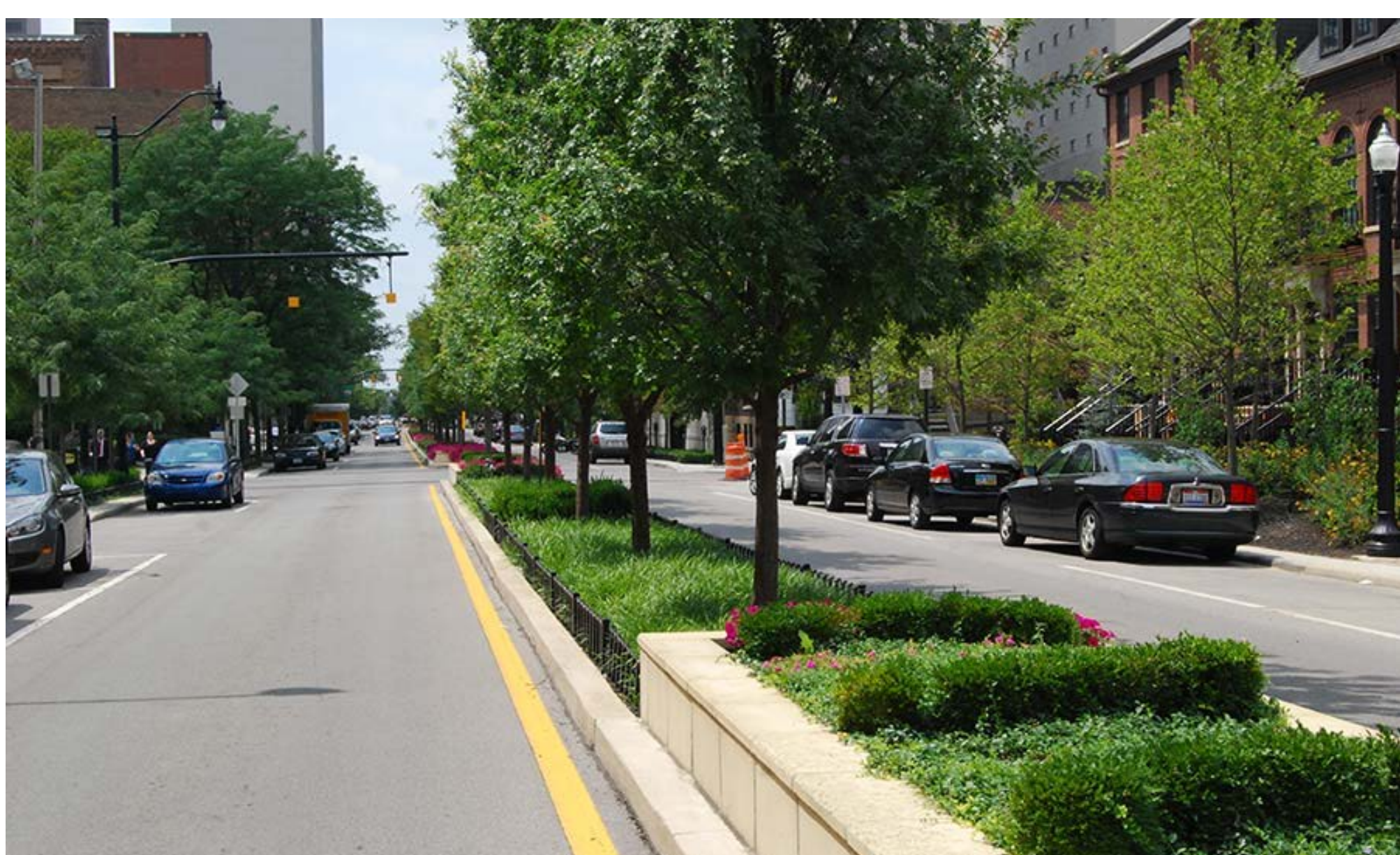
Section 8.6

**Key features of the proposed improvements include:**

- Widened sidewalks with tree strips for enhanced pedestrian comfort
- Enhanced safety features such as raised crosswalks and traffic calming measures
- Improved streetscape elements including parklets, public art, and clear wayfinding signage
- Integrated bike lanes and ample parking for cyclists
- Center medians with trees for wider streets
- Upgraded street lighting for improved visibility and aesthetics
- Adherence to site design guidelines for a cohesive urban landscape



Implement comprehensive bike lane network to enhance safety and efficiency for residents and tourists. Introduce CBD-wide e-bike rental system to promote sustainable urban mobility and accessibility.



Center medians with trees in wider streets enhance safety, beauty, and environment. They calm traffic, provide pedestrian refuge, reduce heat, improve air quality, and create an inviting urban atmosphere.



Widened sidewalks with tree strips offer more space for pedestrians, provide shade, and create a buffer from traffic. They enhance walkability, aesthetics, and urban comfort in the business district.

### EXISTING CONDITIONS

Section 8.7

To obtain a COA, a completed application form (available from the designated City staff person in Planning) must be submitted to the HDC staff liaison with information about the type of establishment, hours, and (if a restaurant) the number of seats proposed.

- A measured plan of the sidewalk dining or display area must be prepared to ensure compliance with these guidelines. It should include relevant information (e.g., table and chair layout, pictures or drawings of all barriers, chairs, tables, umbrellas, benches, planters, etc.) and submitted to the Eustis Historic Preservation Board staff liaison.
- Examples (photographs, drawings, samples) of permanent display items must be presented and approved by the Eustis Historic Preservation Board or by the staff liaison prior to placement.
- Upon approval by the staff liaison or by the Eustis Historic Preservation Board, a permit must be acquired and a fee paid from the City of Eustis. Contact the Eustis Planning Department for more information.
- Permits must be renewed yearly at no charge for both outdoor dining and temporary display. Permits may be revoked if proper maintenance and materials are not observed, at which time outdoor dining or display must be removed pending additional review and approval, permitting, and payment of permit fees.
- Failure to obtain appropriate permits may result in penalties as determined by the City of Eustis.

## 9.0 GUIDELINES FOR COMMERCIAL CORRIDORS

- *Purpose*
- *Commercial Signs*
- *Existing Signs*
- *Architectural Guidelines for Small Buildings*
- *Awnings & Canopies*
- *Existing Canopies and Awnings*
- *Routine Maintenance*
- *Certificate of Appropriateness Required*

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 9.0

### GUIDELINES FOR COMMERCIAL CORRIDORS

#### Section 9.1

##### 1.Purpose

Eustis CBD Sign Guidelines cover various sign types including business, wayfinding, regulatory, murals, billboards, gateways, and banners. These guidelines supplement the city ordinance specifically for the Central Business District, applying to all uses within the area. The CBD review board oversees signage district-wide, aiming to improve navigation, prevent confusion, and maintain standards. The guidelines define categories, provide examples, and list approved and prohibited materials, excluding regulatory signs governed by federal and state statutes. This comprehensive approach ensures a cohesive and effective signage system throughout the CBD, enhancing the district's functionality and aesthetic appeal.



### COMMERCIAL SIGNS

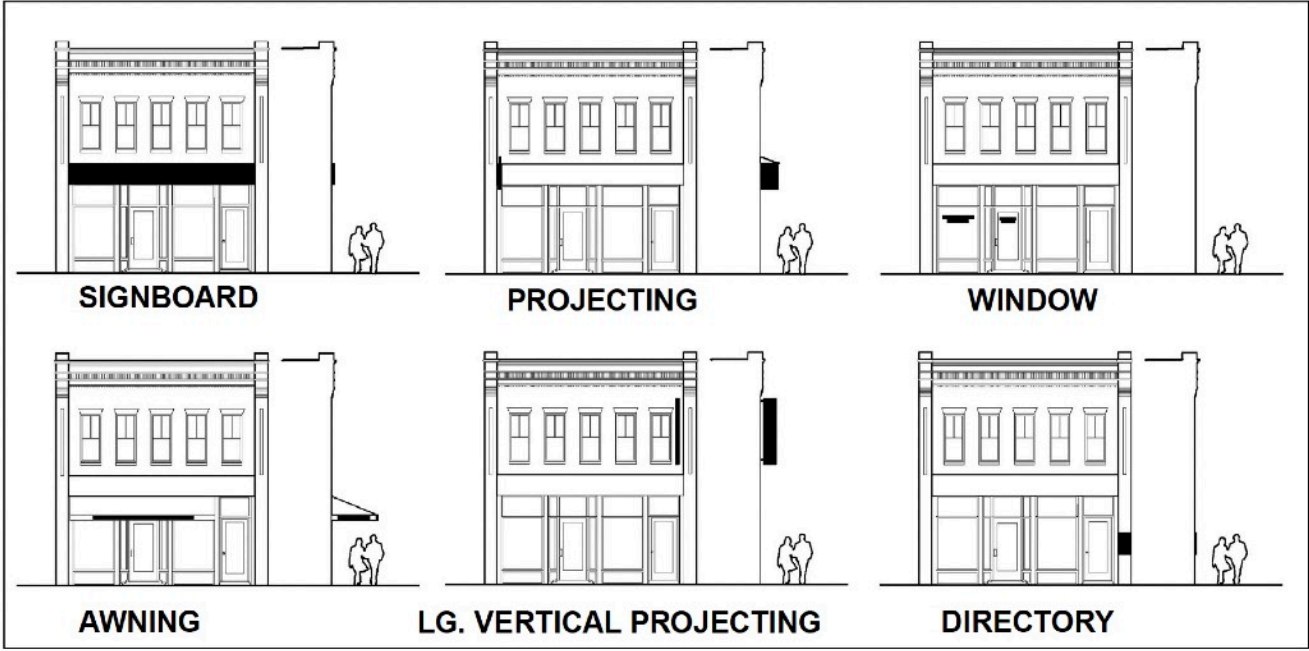
#### Section 9.2

##### 1.Purpose

Commercial and business signs should call attention to the individual business without detracting from the overall character of the district. Further, they should fit the age and architectural style of the building on which they appear.

**Here are some of the types and locations for commercial/business signs:**

- Building pier signs (first floor, may include directory)
- Large vertical projecting signs above first floor
- Small freestanding signs for set-back buildings
- Large freestanding signs for roadside business identity
- Awning and canopy signs
- Painted signs on brick (industrial and commercial buildings)
- Existing historic signs
- Temporary window or small freestanding signs for sales
- "Sandwich" or A-frame signs with changeable messages



These drawings illustrate in elevation and section the possible placement of signs on commercial and industrial buildings. Shown elsewhere are examples of painted signs, banner signs, sandwich signs, marquee signs, and murals.

##### 2.Sign Type, Placement and Size

- a.**Signs:** Don't obscure building architecture
- b.**Total sign area:** 1.5 sq ft per linear foot of building frontage
- c.**Preserve:** existing historic signs when possible
- d.**Building mounted flat signs:** Max 32 sq ft, larger possible for bigger buildings
- e.**Pin mounted signs:** Allowed in sign board area
- f.**Projecting signs:** Max 4 sq ft per side, 10' clearance
- g.**Hanging signs:** Under awnings/canopies, 7' minimum clearance
- h.**Upper story projecting signs:** Limited use, case-by-case approval
- i.**Awning signs:** 4" max letter height, logos may be larger
- j.**Window signs:** Eye level or below, no flashing/moving elements
- k.**Changeable message signs:** Temporary, within allowable square footage
- l.**Temporary window signs:** Max 2 weeks, 10% of display window area
- m.**Sandwich board signs:** Max 10 sq ft per face, 4' high
- n.**Murals:** On blank side/back walls, require approval
- o.**Marquees:** Preserve existing, new ones possible with approval
- p.**Directory signs:** 8 sq ft, up to 16 sq ft for larger buildings
- q.**Monument signs:** Max 16 sq ft, 8' high for setback buildings
- r.**Banner signs/flags:** Secure, wind-resistant, pre-approval possible
- s.**Feather banners:** Not allowed



Artistic murals can be a great addition to downtown.



Plastic Sandwich board signs and signs with track letters are NOT acceptable.

Examples of acceptable sandwich board signs. Plastic signs or signs with track letters are not appropriate.



Neon is an historic material and is allowed in the commercial portion of the Historic District. Flashing or rolling signs are not allowed.



Examples of acceptable sandwich board signs. Plastic signs or signs with track letters are not appropriate.

A good example of a monument sign (bottom) and a directory monument sign for multiple businesses.

# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 9.0

### COMMERCIAL SIGNS

#### Section 9.2 Continued

#### 3.Design and Allowed Materials

1. **Professional Craftsmanship:** Signs should be made by skilled professionals for legibility and attractiveness
2. **Traditional Materials Preferred:** Wood, glass, metal, gold leaf, painted letters, and painted designs, Avoid plastic or vinyl lettering on exterior
3. **Modern Materials:** MDF with edge banding and architectural foam may be appropriate, Hardwood or metal preferred over these
4. **Color Scheme:** Colors should harmonize with or complement building colors
5. **Illumination:**Use shielded incandescent or LED lights,Halo-lit pin letters allowed.Avoid glare-producing lights
6. **Neon Signs:** Allowed with approval,Should not overwhelm building or sign Permitted inside windows (see ordinance for details)
7. **Fabric Signs:** Canvas and other water-resistant fabrics allowed,Must meet fire code requirements
8. **Light Pole Banners:** Allowed with waterproofing and fireproofing requirements
9. **Vinyl Signs:** Only allowed by exception
10. **Wood Signs:** May use raised, painted, silk-screened, or incised lettering
11. **Metal Signs:** Construct with brushed bronze, antique bronze, aluminum, stainless steel, or copper Painted cast iron allowed
12. **Creative Materials:** Other materials considered case-by-case with review and approval



This is the traditional style closed-end fabric awning used with commercial buildings.



These historic facades in Saunton, VA can be seen as a whole without the interruption of awnings.



These open-ended awnings are more contemporary but would still be appropriate with historic commercial buildings.

#### 4.Not Recommended/Allowed

1. **Plastic sign components:** (e.g. backlit sign panels, plastic letters, or prefabricated sandwich boards) are not allowed.
2. **Backlit awnings:** are not allowed.
3. **White dry-erase:** all plastic, and track letter signs are not allowed.
4. **Plywood:** is not recommended as a material for signs.
5. **Backlit plastic panel signs:** are not allowed.
6. **Digital signs:** are not allowed in the Historic District.
7. **No sign or parts of signs:** may flash or move with the exception of restored historic signs that had these characteristics or new marquees with review and approval.
8. **“Feather” banners/signs:** are not allowed.
9. **Highly reflective metallic signs:** or sign parts are not recommended.



Examples of signs that are prohibited

### EXISTING SIGNS

#### Section 9.3

Existing signs are grandfathered, but any changes to existing signs and any replacement signs must meet the guidelines.

Awnings are also discussed in Section 4.4

### AWNINGS & CANOPIES

#### Section 9.4

##### 1.Purpose

Awnings and canopies on historic buildings serve functional and aesthetic purposes, providing shade and adding character. However, their use should be carefully considered, as they can obscure architectural details, especially in narrow streets. Balance is key when deciding on awnings or canopies, weighing their benefits against the importance of preserving and showcasing a building's architectural features.

##### 2.Design and Allowed Materials

###### Awnings and Canopies for Historic Commercial Buildings:

- 3’ from the face of the building (right of way line) will be allowed for display, temporary signage, landscaping, or benches.
- Display items and temporary signage (sandwich boards) placed in the street are allowed, but must be removed from the street at the close of business each day.
- Items such as benches and plants in planters are allowed, and may remain in place, but must meet quality standards for the city, and must be maintained (e.g. if plants in planters have died, the planter must be replanted or removed).
- Dried and artificial plant materials of good quality are allowed.

##### 2.Allowed / Now Allowed Materials

###### Allowed:

- Canvas or “Sunbrella” fabric awnings. Sunbrella is preferred over canvas because of longer life, resistance to mold, and resistance to fading.
- Metal canopies are allowed with review and approval.
- New hybrid materials are being introduced to the market. These will be considered on a case by case basis and must first meet all district fire codes in order to be considered.

###### Not Allowed

- Backlit awnings
- Any plastic supporting or canopy materials, except for new buildings with clear or white

###### New Buildings in the Historic District:

A variety of awnings and canopies may be appropriate for new buildings in the Historic District, including:

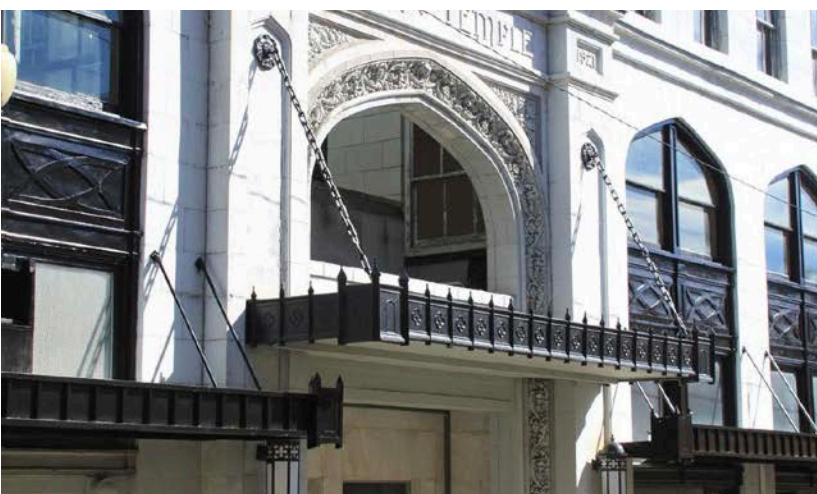
- Fabric and metal awnings and canopies as defined above.
- Modern shade structures affixed to the side of buildings.
- Clear canopies supported by metal structures (see photos at left).
- Other options as reviewed and approved.



This modern canopy on an historic building in Denver is appropriate for a large building entry



Above: The new flat metal canopies over the entry to the Fresh Fields grocery in Baltimore announce the entry and provide space for outdoor display. This type of simple canopy might be appropriate for new buildings or existing masonry buildings with less articulated facades. The canopy below is much more ornate and clearly original to this building in Danville, VA.



# GUIDELINES FOR COMMERCIAL CORRIDORS

## Section 9.0

### EXISTING CANOPIES AND AWNINGS

Section 9.5

*Existing canopies and awnings are grandfathered, but any changes to existing canopies and awnings, and any replacement canopies and awnings must meet the guidelines.*

### ROUTINE MAINTENANCE

Section 9.6

*(COA not required)*

- *Repainting or repair of previously approved signs, canopies, awnings or illumination.*
- *Replacement of awnings and awning signs with like colors and messages (if any), once approved.*
- *Changing of sandwich board messages once the board itself is approved.*
- *Repair or replacement of damaged banners, or re-use of banners previously approved.*

### CERTIFICATE OF APPROPRIATENESS REQUIRED

Section 9.7

- *All signs of any type must be approved in advance of installation. A measured and rendered drawing is required, including materials and colors to be used, method of attachment, method of illumination, and location on the building.*
- *Canopy and awning materials and colors must be approved in advance of installation. Drawings and fabric samples showing proposed colors must be submitted for awnings.*
- *Measured drawings prepared and stamped by an architect and/or engineer must be submitted for all canopies.*
- *A COA must be issued before any historic sign, marquee or canopy can be removed.*
- *Failure to obtain appropriate permission will be considered a zoning violation.*

## 10.0 BALCONY, DECK, ROOF DECK & PERGOLA GUIDELINES

- Purpose*
- Balconies*
- Design and Allowed Materials*
- Decks*
- Roof Decks*
- Pergolas*
- Routine Maintenance*
- Certificate of Appropriateness Required*

# BALCONY, DECK, ROOF DECK & PERGOLA GUIDELINES

## Section 10.0

### BALCONY, DECK, ROOF DECK & PERGOLA GUIDELINES

#### Section 10.1

##### 1.Purpose

As commercial areas thrive, outdoor space usage becomes desirable. This complex issue involves historic guidelines, public safety, and economic development in a compact urban setting. The City aims to support growth while maintaining safety, quality, and aesthetics.

These guidelines establish design standards and approval processes, encouraging creativity within historic and safety contexts. Changes to building sides and backs are more flexible, but front facade alterations may risk historic tax credits and designations. The Central Business District considers this when reviewing proposals.

Commercial facade treatments have evolved with retail trends and architectural styles. Few buildings retain original storefronts, which is considered when reviewing changes for business success.

These guidelines apply to the commercial district within the larger historic area and commercial buildings outside the downtown core. They complement other historic and new architecture guidelines, as well as city-wide zoning and building codes.

**Existing balconies, roof decks, decks and other elements covered in this section are grandfathered until changes, upgrades, or repairs are considered, at which time these elements must meet the guidelines.**



This "Juliet" balcony on a building in Staunton, VA would fit on some masonry buildings in the downtown. The brackets are attractive and take up no room on the (in this case) narrow sidewalk.

### BALCONIES

#### Section 10.2

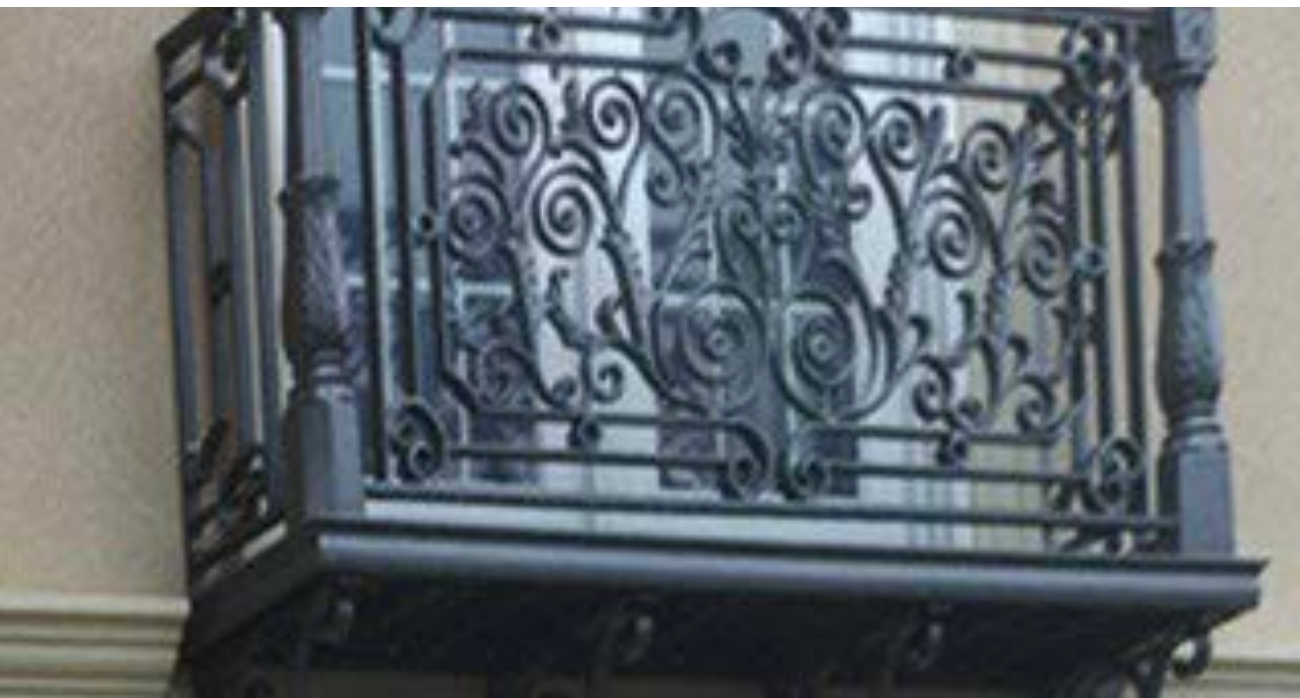
##### 1.Purpose

With the revitalization of the downtown, the upper stories of many commercial buildings are being renovated for apartments and private residences. Although many people live in apartments because they don't have time or inclination to take care of a yard, there is still often a desire for a small green space, a seating area, or an outdoor view. Any of the elements in this chapter can provide these amenities, but balconies are more suitable for the front facade of buildings, as they are generally more ornate than decks so more in keeping with the commercial architecture of the downtown.

##### 2.Balcony Types, Placement & Size

- A. Balconies include decorative or "Juliet" types, defined as shallow balconies or railings outside a window or doors. Such structures should match the style of the building and each balcony would generally cover one set of windows or doors. More than one may be suitable if the size of the openings is uniform, or one may be suitable for a feature window or set of doors.
- B. Deeper balconies will require significant bracket support or column support that will extend into the sidewalk. Deeper balconies often extend under a set of windows and/or doors for the full width of the building, or under a similar set of windows within a larger facade. Examples of second floor balconies can be seen at bottom left and on the next page. Such balconies will generally be wide enough to accommodate outdoor dining and living areas.
- C. Balconies are not decks, although sometimes their definitions overlap. For purposes of this document, balconies are defined as projections narrower than decks, usually constructed of metal and/ or masonry, usually on primary facades of buildings, and meant to complement the architecture of the building. Balconies seldom have overhead coverings, unless it is from a balcony above. See section 10.3 for the definition of a deck.
- D. Balconies are not porches, although again, sometimes their definitions overlap. Porches in residential architecture are usually covered extensions of the house extending from the main portion of the building. Sometimes such structures on the upper floors are referred to as overhanging porches. Examples of multi-level porches would include the formal side porches seen in Charleston. An historic example of a covered porch/balcony structure on a commercial building in Oxford, Mississippi can be seen at left.

**Sometimes a covered entry feature is expanded to include a balcony or covered porch, either decorative or functional. Examples of this can be seen on the next section**



Top and above: Examples of Juliet balconies.



Above: This balcony on the Waynesborough House in the downtown was until recently used primarily as a canopy. Since the second floor has become a catering facility it is now being used once again as a balcony.

##### 3.Design and Allowed Materials

It may be possible to add balconies to historic commercial buildings in downtown Eustis, but there are few local precedents to follow. Because of this, it is recommended that anyone wishing to add such a structure work with an architect well-versed in historic commercial architecture to design it. Any submission for consideration by the CBD will require structural and architectural drawings along with pictures of projects that may be considered precedents. All submissions must meet fire district codes.

**It will be easier to incorporate such features into new/infill commercial and mixed-use buildings, and the incorporation of such elements is encouraged.**

- Design and Allowed Materials**
- All designs must be prepared by a FL licensed architect and/or engineer and reviewed by the CBD before a building permit can be issued;
- Designs must meet all the relevant requirements of State and City building, zoning, and fire codes.
- Materials selection should be guided by historic precedent and architectural compatibility, and may include:
- Masonry;• Architectural concrete;• Wood or high-quality synthetic equivalents;• Appropriate/complementary roofing materials if the structure is covered.

- Not Recommended/Allowed**
- Design and materials, construction methods and elements that would be more suitable for a deck;
- Architectural styles and materials not in keeping with or complementary to the architecture of the building;
- Structural supports that impede pedestrian movement along the sidewalk;



Balconies offer a breath of fresh air in urban living, serving as mini outdoor retreats. They provide a space for potted plants and herbs, creating a personal garden oasis. Enjoy nature's embrace and grow greenery, even in high-rise homes.



Does not align with redevelopment goals



Modern and traditional balcony styles of Orlando, Florida

# BALCONY, DECK, ROOF DECK & PERGOLA GUIDELINES

## Section 10.0

### DECKS

#### Section 10.3

##### 1.Purpose

Decks are generally wood (or synthetic wood) structures intended to provide outdoor living space. In commercial areas, decks should be placed at the side or back of buildings not visible from the street.

##### 2. Placement & Size

Decks are generally wood (or synthetic wood) structures intended to provide outdoor living space. In commercial areas, decks should be placed at the side or back of buildings not visible from the street.

- Decks must be placed on side or rear elevations of buildings within the property line, and not plainly visible from the adjacent sidewalks. They are never allowed on the main facade or immediately adjacent to the sidewalk;
- Limits on size are determined by property lines and any required setbacks;
- Supports for decks must not interfere with access by delivery trucks, fire equipment, vehicles if on an alley, or emergency access/equipment;
- Consult with City and Utilities to ensure decks are sufficiently clear of overhead lines.
- Decks may be built over mechanical equipment, storage areas, or lower story entries and windows;
- Decks may not be built over loading docks.



Lake Deck at a restaurant in Orlando,FL (Grills)



Sleek Orlando rooftop deck: panoramic city views, stylish lounge areas, and a chic bar. Perfect for cocktail parties and sunset gatherings. Mood lighting and modern furnishings create an upscale urban oasis for unforgettable social events.



Urban luxury: sleek apartments with expansive decks. Rooftop pool, fitness center, and co-working spaces elevate community living. Experience modern comfort and convenience in a vibrant, amenity-rich environment.

##### 3. Design and Allowed materials

Decks are generally wood (or synthetic wood) structures intended to provide outdoor living space. In commercial areas, decks should be placed at the side or back of buildings not visible from the street.

- The design for a deck must be prepared and sealed by alicensed architect and/or engineer and approved by the CBD before a building permit will be issued.
- The design must meet all the requirements of State and City building, zoning and fire codes.
- Materials allowed for supports and decking include wood, synthetic wood, and other materials with review and approval.
- Materials for railings may include wood, synthetic wood, or metal. Plexiglass panels to enhance views may be allowed with review and approval. Railing heights much conform to all local and state requirements.

### ROOF DECKS

#### Section 10.4

##### 1.Purpose

Roof decks in Eustis' Central Business District (CBD) offer an exciting opportunity for private outdoor spaces in downtown buildings. These versatile areas can accommodate various uses such as outdoor dining, relaxation zones, and green spaces, provided the roof structure can support them. The CBD's zoning allows for buildings up to 74 feet tall, making many structures suitable for roof deck installations.

Key considerations for roof decks in Eustis' CBD include zoning compliance, design integration with the downtown's character, safety measures, noise management, and proper permitting. The city prohibits metal building exteriors, so roof deck structures should align with this aesthetic requirement. As this concept gains popularity, close collaboration between property owners and City departments will be crucial to ensure attractive, functional, and appropriate implementations that enhance the CBD's vibrancy while maintaining its unique character.

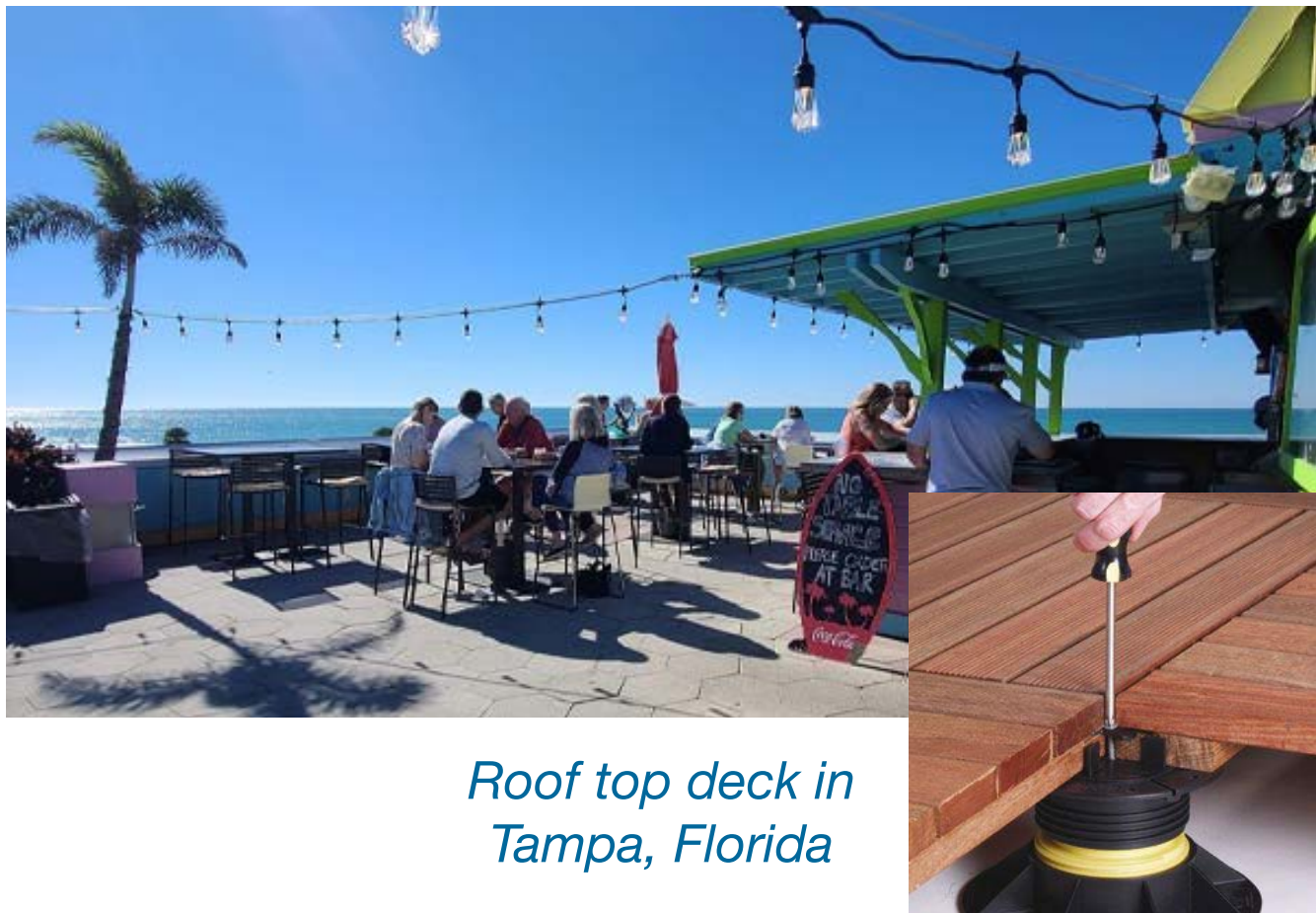
##### 2.Placement and Size

- Roof decks may be placed on any roof structure above the first floor that is configured appropriately and strong enough to support it.
- Where a roof deck adjoins a side of the building visiblefrom the street, care should be taken in the design of thefences to ensure compatibility with the architecture of the facade.
- In many cases, a roof deck will be hidden part by the parapet on an historic building. If none exists at present, it may either be restored from historic photos if it existed in the past, or the visible portions of the roof deck should be designed to complement the facade(s) of the building, and must be 1' behind the roof edge. The roof deck may be as large as the structure can support and the roof allows.

##### 3.Design and Materials Allowed

All materials and designs must comply with building and fire codes.

- Designs require preparation and stamping by appropriate professionals (architects, engineers, landscape architects).
- Roof deck surfaces: wood, synthetic wood, stone, or lightweight concrete pavers designed for such use.
- All materials and fittings must be suitable for outdoor use; furniture must be secured against bad weather.
- Structures, shelters, and barriers: wood, synthetic wood, metal, or other approved materials.
- Fences/barriers must meet City and State height and opening requirements; may include steel cable railings or clear panels for views.
- Wide range of materials allowed for fittings, including wood, metals, synthetic wood, plant material, furniture, water features, lighting, and irrigation, subject to approval.
- Professional design of decking materials and supports is crucial for roof deck success and roof integrity.
- Outdoor lighting should not cause glare for surrounding buildings or properties.



Roof top deck in Tampa, Florida

Building blocks for a roof deck include a floating roof deck system such as this that allows minimal contact with the roof and leveling for uneven roof surfaces.



# BALCONY, DECK, ROOF DECK & PERGOLA GUIDELINES

## Section 10.0

PERGOLAS

Section 10.5

### 1.Purpose

Garden structures attached to buildings are more often used in California and the Southwest than in the South, but if designed appropriately they may be an interesting and unique addition to buildings here to add interest and mitigate the hot sun in the summer. It may be that they will prove more appropriate for side yards, rear yards, and courtyards in the commercial downtown, or more suitable for new buildings rather than historic buildings, but designed properly they will also be considered for the front facades of historic commercial buildings. They wouldserve the same purpose as canopies and awnings, or may extend into the sidewalk as far as sidewalk enclosures in some cases with review and approval. Because there are few precedents,each proposal will be considered carefully, especially at first.

### 2.Placement and Size

Pergolas either as attachments to a building or, if space permits, as free-standing structures, will be permitted on any available side of the privately-owned portion of commercial buildings, much as they would be on a private residence. They could also be incorporated into second-floor decks or into roof decks. Pergolas that are incorporated into the front or visible sides of commercial buildings, on the public right of way, are not prohibited, but will require careful review before approval by exception. The pergola’s most likely to be acceptable are those self-supported from the facade of the building, serving as an alternative to a canopy or awning. They may or may not have plants growing on them as part of the design.



It is not hard to imagine a private alley or courtyard transformed with plants and a pergola into a green refuge.



The courtyard with a pergola shown above is next the sidewalk and near restaurants and a hotel. The metal pergola above a deck shown below would work well for a restaurant or living space above a store.



A building-supportedpergola (right) couldtake the place of an awning or canopy. A more rustic pergola such as the one below might be suitable forcourt yarding where screening views of the backs of nearby buildings wouldbe desirable.

### 3. Design and Allowed materials

At least initially, all plans for pergolas will need to be reviewed and approved. Drawings should be prepared by an appropriate professional, especially if the structure will be attached to an existing building, and should include images or sample of materials to be used:

- Wood, preferably pressure treated, tropical or hardwoods for ease of maintenance and longevity
- Synthetic wood with review and approval
  - Metal
  - Stone (columns, paving etc.)
  - Fiberglass column post covers
  - Plant materials
  - Containers for plant materials of terra-cotta, architectural concrete, commercial grade resin, or wood (see above bullet item for approved types of wood)
  - Brick or concrete for paving materials.

ROUTINE MAINTENANCE

Section 10.6

### (COA not required)

- Repainting or repair of previously approved signs, canopies, awnings or illumination.
- Replacement of awnings and awning signs with like colors and messages (if any), once approved.
- Changing of sandwich board messages once the board itself is approved.
- Repair or replacement of damaged banners, or re-use of banners previously approved.

CERTIFICATE OF APPROPRIATENESS REQUIRED

Section 10.7

Given the limited existing examples of commercial buildings with balconies, decks, roof decks, and pergolas in Eustis' Central Business District (CBD), all such architectural elements must undergo review and approval by the City of Eustis Development Services Department before obtaining building permits. This process ensures compatibility with the CBD's character and compliance with local zoning regulations. The review will consider factors such as design integration, safety, and adherence to the CBD's aesthetic guidelines, including the prohibition of metal building exteriors.

# APPENDIX

THE SECRETARY OF THE INTERIOR’S STANDARDS

Preserving Eustis's Heritage: Historic Structure Renovation Standards for the Central Business District:

The City of Eustis has established a set of standards to guide the renovation and restoration of historic structures in the Central Business District. The following are the standards for Rehabilitation, which are likely to be the most common criteria considered by the Eustis Historic Preservation Board. However, other standards may be more appropriate for individual buildings, and these are listed for reference. Only one set of standards would apply to a particular building. The other standards that might apply include Preservation, Restoration, and Reconstruction.

These standards apply to historic buildings of all periods, styles, types, materials, and sizes within the Eustis Central Business District. The City of Eustis generally defines a historic building as being over fifty years old and meeting certain criteria for significance. These guidelines aim to preserve the unique character and historical integrity of Eustis's downtown area while allowing for necessary updates and improvements.

Building owners and developers in the Central Business District should consult with the Eustis Historic Preservation Board before undertaking any renovation or restoration projects to ensure compliance with these standards and to maintain the historical charm of downtown Eustis.

THE STANDARDS FOR REHABILITATION

- 1.**Preservation of Historical Use:***A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
- 2.**Retention of Historic Character:***The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.*
- 3.**Recognition of Historical:** Authenticity*Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.*
- 4.**Preservation of Significant Alterations:** *Changes to a property that have acquired historic significance in their own right shall be retained and preserved.*
- 5.**Preservation of Distinctive Features:***Distinctive materials, features, finishes, and construction techniques or examples of craftsman-ship that characterize a property shall be preserved.*
- 6.**Repair Over Replacement:** *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new features shall match the old in design, color, texture, and where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.*
- 7.**Gentle Treatment Methods:** *Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.*
- 8.**Protection of Archaeological Resources:***Archaeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.*
- 9.**Compatibility of New Additions:** *New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
- 10.**Reversibility of New Additions:** *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

STANDARDS FOR PRESERVATION

*The Standards for Preservation emphasizes conservation, maintenance and repair rather than . It reflects a building’s continuum over time, through successive occupancies, and the appropriate changes and alterations that are made over time.*

- 1.**Historical Use and Preservation:** *A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.*
- 2.**Retention of Historic Character:** *The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3.**Physical Record Preservation:** *Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.*
- 4.**Preservation of Significant Changes:** *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5.**Preservation of Distinctive Features:** *Distinctive materials, features, finishes, and construction techniques or examples of craftsman-ship that characterize a property will be preserved.*
- 6.**Appropriate Intervention:** *The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.*
- 7.**Gentle Treatment Methods:** *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8.**Protection of Archaeological Resources:** *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

## STANDARDS FOR RESTORATION

*The Standards for Reconstruction guide the recreation of a nonsurviving site, landscape, building, structure, or object in all new materials.*

- 1.**Evidence-Based Reconstruction:***Reconstruction will be used to depict vanished or nonsurviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.*
- 2.**Archaeological Investigation:** *Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.*
- 3.**Preservation of Existing Elements:** *Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.*
- 4.**Accurate Duplication:** *Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.*
- 5.**Clear Identification:** *A reconstruction will be clearly identified as a contemporary re-creation.*
- 6.**Historical Accuracy:** *Designs that were never executed historically will not be constructed.*

## STANDARDS FOR RECONSTRUCTION

*The Standards for Reconstruction guide the recreation of a nonsurviving site, landscape, building, structure, or object in all new materials.*

- 1.**Historical Use Preservation:***A property will be used as it was historically or be given a new use which reflects the property's restoration period.*
- 2.**Retention of Restoration PeriodFeatures:** *Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.*
- 3.**Physical Record Conservation:** *Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.*
- 4.**Documentation of Non-Restoration Elements:** *Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.*
- 5.**Preservation of Distinctive Features:** *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.*
- 6.**Repair Over Replacement:** *Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.*
- 7.**Evidence-Based Restoration:** *Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.*
- 8.**Gentle Treatment Methods:***Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 9.**Protection of Archaeological Resources:** *Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 10.**Historical Accuracy:** *Designs that were never executed historically will not be constructed.*

- *Place signs so they do not interfere with or obscure the architecture of the building on which they are mounted or adjacent buildings and signs.*
- *All signs for an individual business may not exceed limits as defined in the Unified Development Ordinance Section 6.4.14.3: “The total allowable area for all signs, excluding incidental signage, in this Eustis,FL - Central Business District shall be one and a half square feet of sign area per one linear feet of building frontage on the street. Party walls or property lines shall define individual buildings.”*
- *Existing Historic Signs of any type: Existing signs should be preserved and/or restored whenever possible. Even if these signs do not conform to the existing guidelines and/or ordinances, they should remain if possible.*
- *Building Mounted Flat Signs: Limited to 32 sq ft per business, mounted flat or painted on building. Larger signs possible for bigger buildings. Mount on sign frieze, above first floor, or covered transom. Illuminate with shielded LED/incandescent lights, neon, or backlit letters.*
- *Total sign area per business: 1.5 sq ft per linear foot of building frontage, excluding incidental signage. Individual buildings defined by party walls or property lines.*
- *Pin Mounted Signs. Pin-mounted letters and/or logos are allowed in the sign board area in place of and in the general area of the sign frieze. Pin-mounting allows the letter to stand out from the surface on which they are mounted. Letters are often gilded on historic buildings as shown below (from New Bern) or could be backlit as shown at left. Neon signs are also pin-mounted and are historically appropriate for the commercial area.*
- *Projecting signs between the first and second floors (Blade Signs): These signs can add great visual interest to the streetscape. Their size is limited to 4 square feet per side, or 8 square feet total for a two-sided sign. This does not include the bracket. They should project no more than 4.5 feet from the building, and the bottom of the sign may be no lower than 10’ above the sidewalk. Only one such sign is permitted per business.*
- *Hanging signs are different from projecting signs in that they are mounted under an awning or canopy where a projecting sign mounted higher would be obscured by the awning or canopy. These must be mounted high enough to ensure headroom beneath the sign. A minimum clearance of 7’ is suggested, but this will be evaluated individually. Examples of hanging signs are shown below and at left.*
- *Projecting Vertical Signs on upper stories: Because of the prominence of such signs, which traditionally used neon as an integral design element, their usage will be limited. Larger buildings are more appropriate for this treatment. Upper story projecting signs will be evaluated on a case by case basis, and there is no implicit right to an upper story sign of this type without review and approval.*
- *Awning or Canopy Signs: lettering on awnings should be printed on the fall of a canvas awning or canopy. Other locations for logos or lettering may be permitted by exception after review. Lettering height is limited to 4”; logos may be larger.*
- *Eustis CBD window signs: Place at eye level or below. Scale to building. Apply to doors and upper windows. Interior lit “Open” signs allowed. No flashing/moving elements or ads. All signs need approval. Maintains district aesthetics while aiding business communication.*
- *Changeable Message Signs. Message signs that indicate hours or provide temporary messages (e.g. changing hours or “Be Right Back” or “call [phone number] for more information”). These must fit within the allowable square feet for signs. Materials could include chalk board or chalk paint. A sandwich board might be an alternative to this type of sign. Digital, flashing, rolling or product logo signs are not permitted.*
- *Temporary Window Signs. Temporary window signs include signs alerting the public to sales, clearances or special events, and are placed on the inside or outside of store windows or doors. These may remain in place for no more than two weeks, and may take up no more than 10% of the glass area of display windows only. Hand lettering for sales or special events is not allowed. Temporary window signs are not encouraged. Digital, flashing, rolling or product logo signs are not allowed. In lieu of such signs, sandwich boards are encouraged.*
- *“Sandwich Board” Signs: A-frame or sandwich board signs are allowed in front of stores, but materials and con Once approved, the message on the sign can change as needed. See photos on previous page and at left. Each face of the sign must be no more than 10 square feet, and the sign may be no more than 4 feet high. This amount is not counted as part of the total square feet of signage allowed.*
- *Murals and Mural Signs: Murals can be an attractive and artistic addition to the downtown if well planned and executed. Murals should be placed on blank (or mostly blank) side or back walls of commercial or industrial buildings, not on primary facades. Size will depend on placement. If artistic murals are to be created by private entities, the design must be approved in advance by the HDC. Murals that advertise the business of the building are considered to be signs. They must meet the overall limits on sign square footage and applicable codes. If the mural sign includes more than simply advertising copy, the HDC may allow additional total square feet of signage on the primary facade of the building.*
- *Marquees: Historically, several buildings in Eustis, FL’s Central Business District had elaborate marquees. Although many are no longer present, those that still exist should be preserved if possible. In the future, if a theater or cinema-related use is added to the downtown area, a marquee might be appropriate with review and approval from the CBD review board*
- *Directory Signs: The rules for directory signs are 8 square feet for most commercial buildings. Larger buildings (particularly large industrial buildings) may be allowed up to 16 square feet by review and approval of the RDDC.*
- *Monument or Freestanding Signs: Small freestanding signs of 16 square feet or less and standing no more than 8 feet high are allowed for buildings set back from the right of way. Additional square feet are allowed for sign supports. Examples might be for residential conversion to a Bed & Breakfast, permitted home-based professional services, and so on. Freestanding signs greater than 12 square feet (not including supports) are only allowed where buildings are set back from the right of way, and in general are not encouraged within the Historic District. In such cases, monument signs and pylon signs are preferred over signs on poles. Flashing, rotating, or internally illuminated signs (except illuminated letters only) are not allowed. All freestanding signs must be reviewed and approved by the Eustis- CBD*
- *Eustis CBD allows banner signs and flags for events and identification. Must be secure and wind-resistant. Pre-approved banners changeable without review. American flags permitted; decorative flags need approval. Flag text counts towards sign limits. Balances business needs and aesthetics.*
- *“Feather” banners/signs are not allowed. These are defined as free-standing signs on flexible poles with curved tops, intended to flutter constantly.*